

PROJECT DATA

PROJECT INFORMATION			
ADDRESS:	10380 Perimeter Road Cupertino, CA	LOT AREA:	2.1220 AC
		LOT AREA:	92,434 SF
		GROSS BUILDING AREA*:	102,700 SF *gross area measured to outside face of exterior wall
PROJECT DESCRIPTION:	Extended Stay Hotel (Hyatt house)	MAXIMUM BUILDING HEIGHT	60 FT
OCCUPANCY TYPES:	Residential (R-1), Business, Storage (S-2)	PROPOSED BUILDING HEIGHT	60 FT
BUILDING FRONT SETBACK:	35 FT FROM EDGE OF CURB AT WOLFE RD	REQUIRED OPEN SPACE**	2,568 SF **2.5% of gross building area per Heart of the City Plan)
BUILDING SIDE SETBACK:	30 FT FROM EDGE OF CURB AT PERIMETER OR OFT SHARED DEVELOPMENT	PROVIDED OPEN SPACE	*** SF *** refer to lanscape architecture drawings
BUILDING REAR SETBACK:	N/A	SURFACE PARKING AREA	35,690 SF

HYATT HOUSE													
LEVELS	TYPES	DOUBLE QUEEN ROOM			KING 1-BED		KING SUITE		KING DEN ROOM			TOTAL	
		QQ	QQS	QQ ACC.	K	K ACC.	KS	KS ACC.	KD	KDL	KD ACC.	KEYS	GROSS* SF
(1) GROUND		1	0	0	5	0	3	0	0	2	1	12	21,100 SF
(2) SECOND		6	3	0	4	1	10	1	4	5	0	34	20,400 SF
(3) THIRD		6	3	0	4	1	10	1	4	5	0	34	20,400 SF
(4) FOURTH		7	3	1	4	0	10	0	4	5	0	34	20,400 SF
(5) FIFTH		7	3	1	4	0	10	0	4	5	0	34	20,400 SF
TOTAL		27	12	2	21	2	43	2	16	22	1	148	102,700 SF
		18%	8%	1%	14%	1%	29%	1%	11%	15%	1%		
			28%			46%				26%			
												TOTAL KEYS	148

PARKING REQUIRED			
TYPES	REQUIRED	RECOMMENDED BY PARKING STUDY	
HOTEL			
GUESTROOMS	0.81 PER ROOM (PROPOSED)		120
GUESTROOMS	1 PER ROOM (REQUIRED)	148	
EMPLOYEE	1 PER PEAK SHIFT EMPLOYEE (9 HOTEL)		9
MEETING ROOMS	1 PER 250 SF (2,834 SF)		11
RESTAURANT			
DINING	1 PER 4 SEATS (36)		9
OUTDOOR DINING TERRACE	1 PER 4 SEATS (15)		4
BAR	1 PER 3 SEATS (9)		3
EMPLOYEE	1 PER PEAK SHIFT EMPLOYEE (3 RESTAURANT)		3
TOTAL		187	120
	ACCESSIBLE PARKING REQUIRED	6	6
	CLASS II BICYCLE PARKING SPACES REQ (5%)	9	9 (2 Bicycle Parking Spaces/rack, typ.)

PARKING PROVIDED						
		PROVIDED			GROSS AREA	
		STANDARD	ACCESSIBLE	TANDEM		SF
SURFACE PARKING		67	4	0		SF
BASEMENT PARKING		75	2	8	35,800	SF
SUB-TOTAL		142	6	8	35,800	SF
	TOTAL REQUIRED	187	TOTAL PROPOSED	120	TOTAL PROVIDED	156

GROUND FLOOR AREA BREAKDOWN TOTAL GROUND FLOOR GROSS AREA 21100 SF

RESTAURANT AREAS	
KITCHEN	1323 SF
H BAR / DINING / POOL TABLE AREA	1750 SF
TOTAL INDOOR RESTAURANT AREA	3073 SF
OUTDOOR DINING TERRACE	778 SF
TOTAL INDOOR/OUTDOOR RESTAURANT AREA	3851 SF

BACK-OF-HOUSE	
BREAK ROOM	340 SF
LUGGAGE ROOM	105 SF
POOL STORAGE	50 SF
MEETING ROOM STORAGE	420 SF
TOTAL BACK OF HOUSE	915 SF

PUBLIC AREAS	
VESTIBULE	128 SF
FRONT LOBBY / SOCIAL SECTIONAL AREA	1895 SF
H MARKET	132 SF
ELEVATOR	218 SF
ELEVATOR LOBBY	170 SF
PUBLIC AREA CIRCULATION	731 SF
FITNESS ROOM	773 SF
POOL RESTROOMS	118 SF
TOTAL PUBLIC AREAS	4165 SF

ADMINISTRATIVE AREAS	
HOST STAND	176 SF
GM	163 SF
SALES	130 SF
WORK AREA 1	173 SF
WORK AREA 2	196 SF
TOTAL ADMIN AREA	838 SF

MEETING AREAS	
BUSINESS CENTER	290 SF
PREFUNCTION	1308 SF
MEETING ROOMS	2434 SF
BOARD ROOM	400 SF
RESTROOMS	420 SF
TOTAL MEETING AREAS	4852 SF
OUTDOOR PATIO	1324 SF

GUESTROOM AREAS	
CORRIDOR	849 SF
GUEST ROOM AREA	5662 SF
STORAGE	214 SF
STAIRS (1) - INCL. STAIR #1	520 SF
LAUNDRY CHUTE	12 SF
TOTAL GUESTROOM AREA	7257 SF



**HYATT
house™**
CUPERTINO, CALIFORNIA
10380 Perimeter Road

PROJECT DESCRIPTION

THIS PROJECT IS LOCATED ALONG WOLFE ROAD AND THE 280 FREEWAY IN THE VALLCO FASHION CENTER DEVELOPMENT IN THE CITY OF CUPERTINO, CA

THIS PROPOSED HOTEL PROJECT CONSISTS OF A 148 ROOM, FIVE (5) STORY HOTEL NOT TO EXCEED 60 FT IN HEIGHT (MEASURED TO TOP OF PRIMARY ROOF), CONSISTING OF 102,700 SQUARE FEET (GROSS BUILDING AREA - MEASURED TO EXTERIOR FACE OF EXTERIOR WALLS). A BASEMENT PARKING STRUCTURE CONSISTS OF 35,800 SQUARE FEET AND PROVIDES 85 PARKING SPACES. AN ADDITIONAL 71 PARKING STALLS ARE PROVIDED ON GRADE.

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PROJECT TEAM

OWNER / DEVELOPER	CUPERTINO PROPERTY DEVELOPMENT II, LLC 19620 STEVENS CREEK BL., STE 200 CUPERTINO, CA 95014 PHONE: (408) 343-1088 CONTACT: EDWARD CHAN E-MAIL: echan@kcrdevelopment.com CONTACT: DAVID CHAN E-MAIL: dchan@kcrdevelopment.com
CIVIL ENGINEER	SANDIS 936 E. DUANE AVE SUNNYVALE, CA 94058 PHONE: (408) 636-0900 CONTACT: CHAD BROWNING E-MAIL: CBROWNING@SANDIS.NET
ARCHITECT	GENE FONG ASSOCIATES 1130 WESTWOOD BLVD. LOS ANGELES, CA 90024 PHONE: (310) 209-7520 CONTACT: RANDY ITAYA e-mail: ritaya@gfaarchitects.com
LANDSCAPE ARCHITECT	BRUCE JETT ASSOCIATES 3 ALTARINDA RD, STE 201 ORINDA, CA 94563 PHONE: 925-254-5422 CONTACT: BRUCE JETT E-MAIL: brucej@landsarch.com
ELECTRICAL ENGINEER	EMERALD CITY ENGINEERS, INC. 6505 216TH STREET SW, SUITE 200, MOUNTLAKE TERRACE, WA 98043 PHONE: 425-741-1200 CONTACT: ADAM FRENCH, P.E. E-MAIL: afrench@emeraldcityeng.com

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HYATT HOUSE HOTEL AT VALLCO PARK

WOLFE ROAD & INTERSTATE 280
CUPERTINO, CALIFORNIA

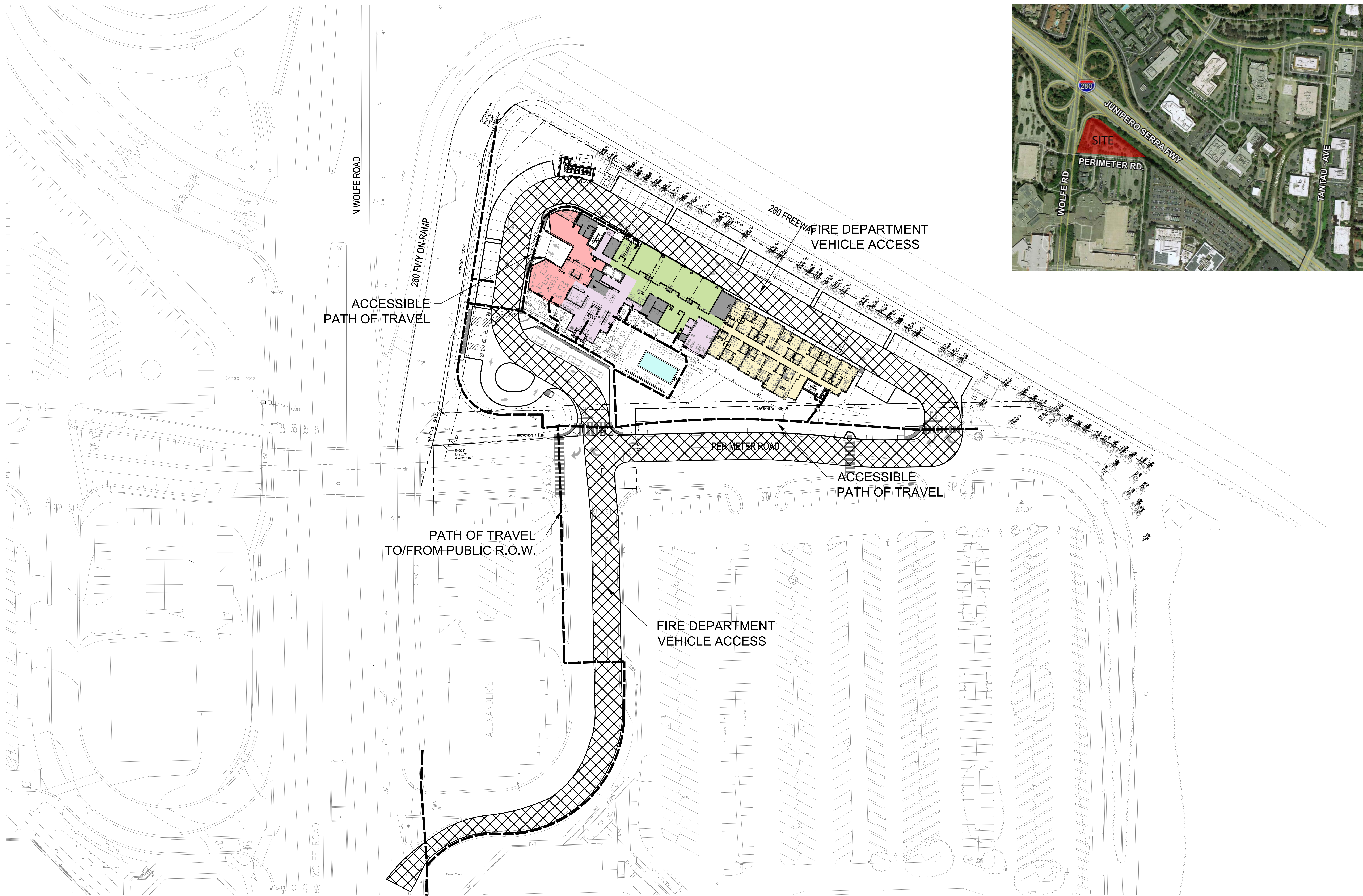
PROJECT INFORMATION

DATE: 10/3/2014
JOB NO.: 1345P



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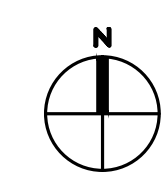
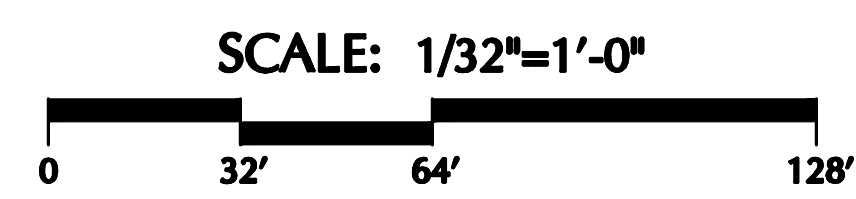
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HYATT HOUSE HOTEL AT VALLCO PARK

WOLFE ROAD & INTERSTATE 280
CUPERTINO, CALIFORNIA

VICINITY / ACCESSIBILITY PLAN




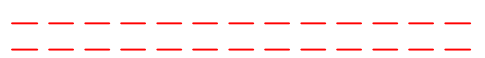
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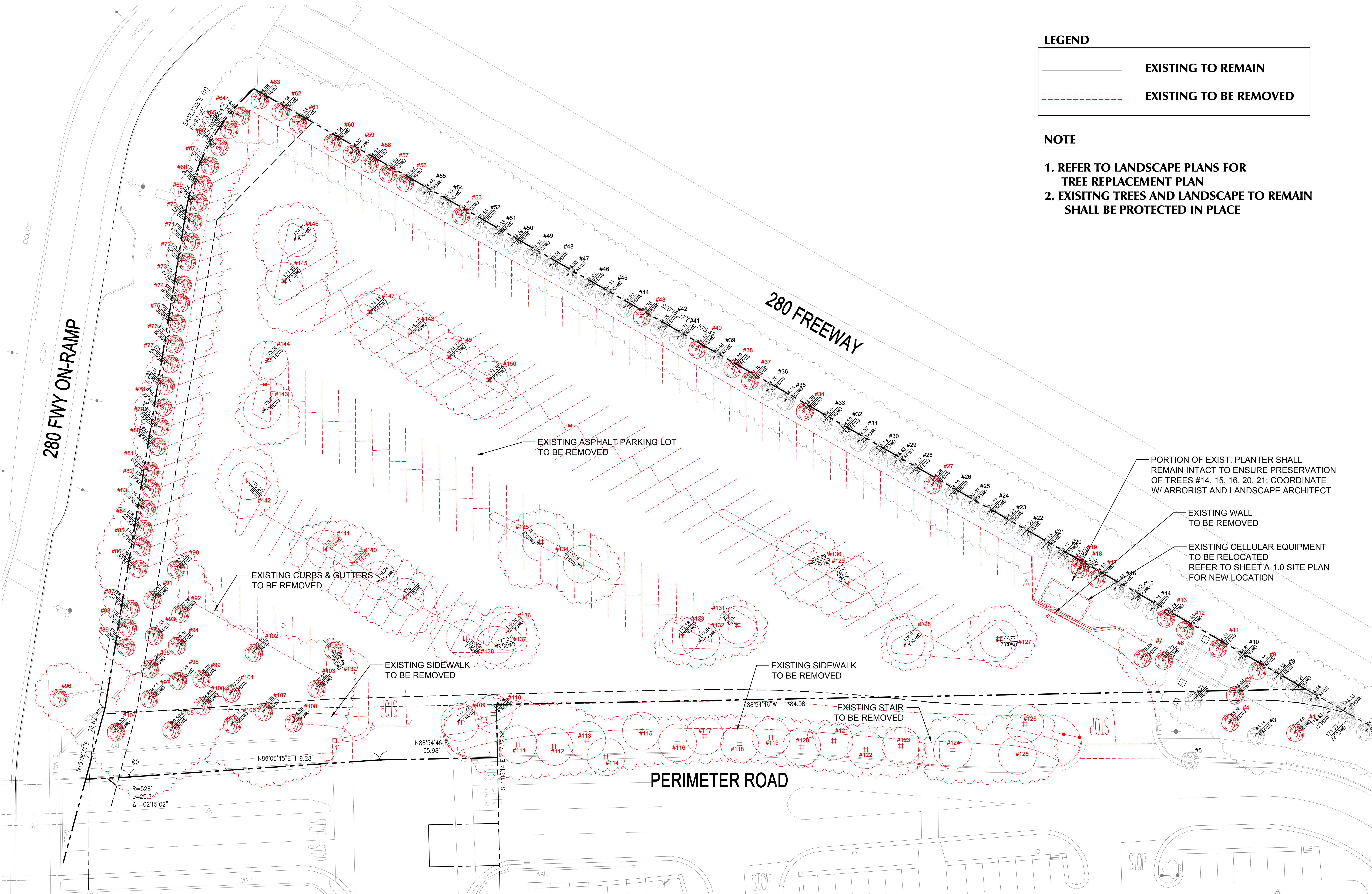
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LEGEND

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED

NOTE

1. REFER TO LANDSCAPE PLANS FOR TREE REPLACEMENT PLAN
2. EXISTING TREES AND LANDSCAPE TO REMAIN SHALL BE PROTECTED IN PLACE



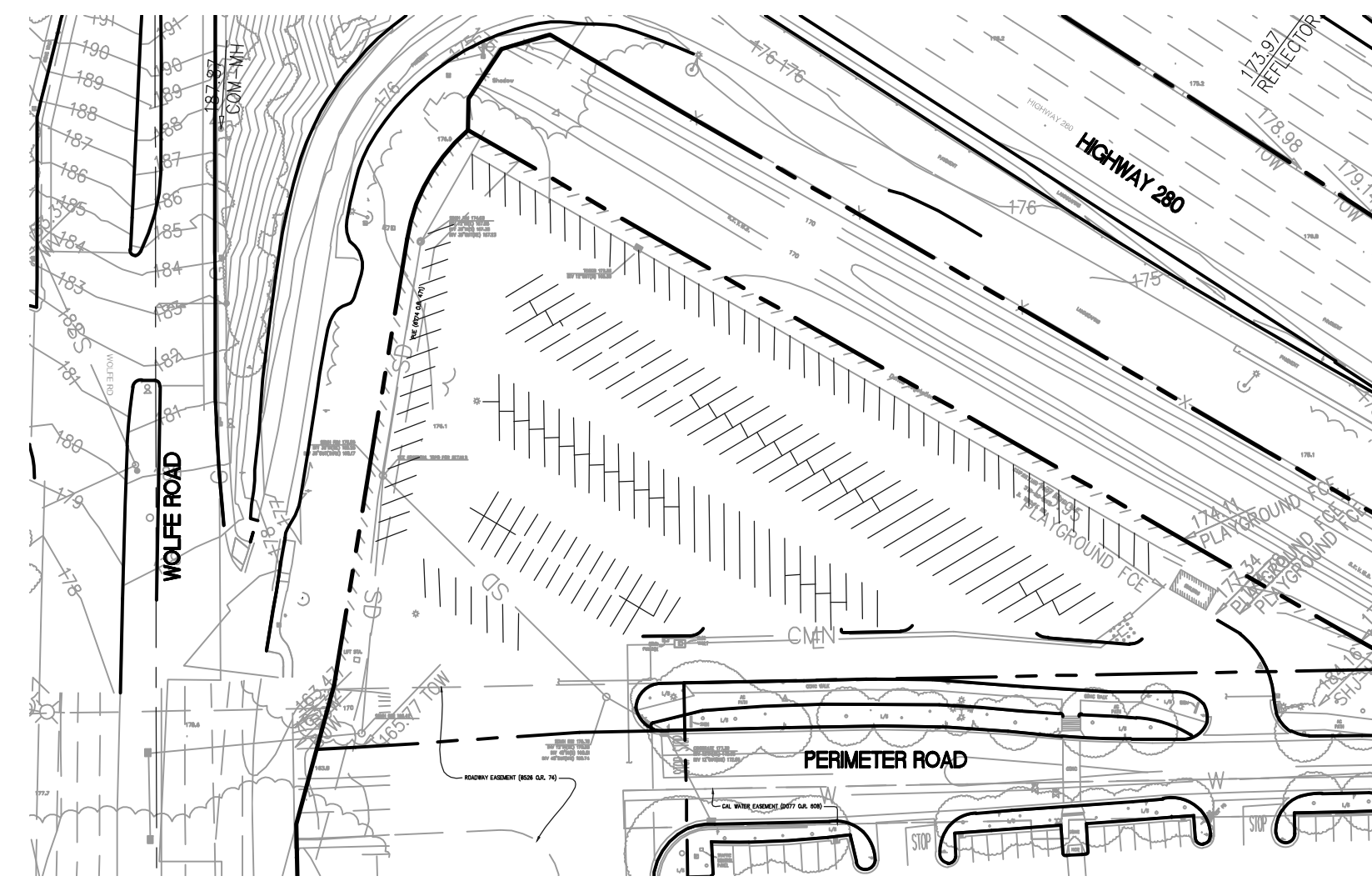
HYATT HOUSE HOTEL CUPERTINO CALIFORNIA

DISCREPANCIES

IF THERE ARE ANY DISCREPANCIES BETWEEN DIMENSIONS IN DRAWINGS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE ATTENTION OF THE ENGINEER FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

GENERAL NOTES

- ALL OFF-SITE CONSTRUCTION MATERIAL AND METHODS SHALL COMPLY WITH THE WITH THE LATEST EDITION OF THE CITY OF SAN FRANCISCO STANDARD PLANS & SPECIFICATIONS AND THE LATEST CALTRANS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL LEAVE AN EMERGENCY PHONE NUMBER WITH THE POLICE AND FIRE DEPARTMENTS.
- CONTRACTOR SHALL POST ON THE SITE, EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE, AND FIRE DEPARTMENTS.
- CONTRACTOR SHALL NOTIFY ALL PUBLIC OR PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY UNLESS AN EXCAVATION PERMIT SPECIFICS OTHERWISE.
- UTILITIES AND UNDERGROUND FACILITIES INDICATED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER NOR THE CITY NOR THE DESIGN PROFESSIONAL ASSUMES RESPONSIBILITY THAT THE UTILITIES AND UNDERGROUND FACILITIES INDICATED WILL BE THE UTILITIES AND UNDERGROUND FACILITIES ENCOUNTERED.
- CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT U.S.A. 800-227-2600 FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING WORK TO HAVE THE LOCATION OF EXISTING UNDERGROUND UTILITIES MARKED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, LOCATE, AND PROTECT ALL UNDERGROUND FACILITIES.
- THE CONTRACTOR SHALL HIRE A STREET CLEANING CONTRACTOR TO CLEAN UP DIRT AND DEBRIS FROM CITY STREETS THAT ARE ATTRIBUTABLE TO THE DEVELOPMENT'S CONSTRUCTION ACTIVITIES.
- ALL MATERIALS, REQUIRED FOR THE COMPLETE EXECUTION OF THE PROJECT, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY EXISTING IMPROVEMENTS OF UNDERGROUND FACILITIES DAMAGED DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL ENCROACHMENT, EXCAVATION, CONCRETE, ELECTRICAL, PLUMBING, ETC. PERMITS NECESSARY PRIOR TO BEGINNING CONSTRUCTION FOR ANY WORK.
- THE CONTRACTOR SHALL HAVE A SUPERINTENDENT OR REPRESENTATIVE ON SITE AT ALL TIMES DURING CONSTRUCTION.
- STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT ON CITY STREETS WILL NOT BE PERMITTED.
- CONSTRUCTION EQUIPMENT SHALL BE PROPERLY MUFFLED. UNNECESSARY IDLING OF GRADING CONSTRUCTION EQUIPMENT IS PROHIBITED.
- CONSTRUCTION EQUIPMENT, TOOLS, ETC. SHALL NOT BE CLEANED OR RINSED INTO A STREET, GUTTER OR STORM DRAIN.
- A CONTAINED AND COVERED AREA ON-SITE SHALL BE USED FOR STORAGE OF CEMENT BAGS, PAINTS, FLAMMABLE, OILS, FERTILIZERS, PESTICIDES, OR ANY OTHER MATERIALS THAT HAVE POTENTIAL FOR BEING DISCHARGED TO THE STORM DRAIN SYSTEM BY WIND OR IN THE EVENT OF A MATERIAL SPILL.
- ALL CONSTRUCTION DEBRIS SHALL BE GATHERED ON A REGULAR BASIS AND PLACED IN A DUMPSTER WHICH IS EMPTIED OR REMOVED WEEKLY. WHEN FEASIBLE, TARPS SHALL BE USED ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORMWATER POLLUTION.
- ANY TEMPORARY ON-SITE CONSTRUCTION PILES SHALL BE SECURELY COVERED WITH A TARP OR OTHER DEVICE TO CONTAIN DEBRIS.
- CONCRETE TRUCKS AND CONCRETE FINISHING OPERATIONS SHALL NOT DISCHARGE WASH WATER INTO THE STREET GUTTERS OR DRAINS.



LOCATION MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

ABBREVIATIONS

AB	- AGGREGATE BASE	MEP	- MECHANICAL/ELECTRICAL/PLUMBING
AC	- ASPHALT CONCRETE	MH	- MANHOLE
AD	- AREA DRAIN	MN	- MINIMUM
ADA	- AMERICANS WITH DISABILITIES ACT	MN	- MIDPOINT OF VERTICAL CURVE
ASB	- AGGREGATE SUBBASE	MON	- MONUMENT
BC	- BEGINNING OF CURVE	N	- NORTH
BFP	- BACK FLOW PREVENTOR	NO	- NUMBER
BLDC	- BUILDING CORNER	NTS	- NOT TO SCALE
BLDG	- BUILDING	P	- PAVEMENT ELEVATION
BOD	- BOTTOM OF DOCK	PCC	- PORTLAND CEMENT CONCRETE /
BOL	- BOLLARD	PCC	- POINT OF CONTINUOUS CURVATURE
BOS	- BOTTOM OF STEP	PIV	- POST INDICATOR VALVE
BOW	- FO @ BOTTOM OF WALL	PL	- PROPERTY LINE
BVC	- BEGON VERTICAL CURVE	PMH	- POWER MANHOLE
BW	- BACK TOP OF	POC	- POINT OF CONNECTION
C	- CONCRETE	PP	- POWER POLE
C&G	- CURB AND GUTTER	PRC	- POINT OF REVERSE CURVATURE
CB	- CATCH BASIN	PVC	- POLYVINYL CHLORIDE PIPE
CD	- CONTROLLED DENSITY FILL	R	- RADIUS
CI	- CURB INLET	RC	- RELATIVE COMPACTION
CIP	- CAST IRON PIPE	RCP	- REINFORCED CONCRETE PIPE
CL	- CENTER LINE OR CLASS	RPPA	- REDUCED PRESSURE PRINCIPLE ASSEMBLY
CMP	- CORRUGATED METAL PIPE	RTG	- RIM TO GRADE
CO	- CLEANOUT	R/W	- RIGHT OF WAY
CONC	- CONCRETE	S	- SLOPE OR SOUTH
CONST	- CONSTRUCTION OR CONSTRUCT	S.A.D.	- SEE ARCHITECTURAL DRAWINGS
CY	- CUBIC YARD	SB	- SEDIMENT BASIN
DADA	- DOUBLE CHECK DETECTOR ASSEMBLY	SD	- STORM DRAIN
DI	- DROP INLET	SDAD	- STORM DRAIN AREA DRAIN
DIP	- DUCTILE IRON PIPE	SDCB	- STORM DRAIN CATCH BASIN
DOM	- DOMESTIC WATER	SDCO	- STORM DRAIN CLEANOUT
DW	- DRAWING	SDCI	- STORM DRAIN CURB INLET
E	- EAST	SDMH	- STORM DRAIN MANHOLE
EC	- END OF CURVE	SSMH	- SANITARY SEWER MANHOLE
EP	- EDGE OF PAVEMENT	SSCO	- SANITARY SEWER CLEANOUT
ER	- END OF RETURN	SSAD	- SANITARY SEWER AREA DRAIN
EVC	- END VERTICAL CURVE	S.E.D.	- SEE ELECTRICAL DRAWINGS
ELEV	- ELEVATION	SF	- SILT FENCE
EX. EXIST.	- EXISTING	SG	- SUBGRADE
FC	- FACE OF CURB	S.L.D.	- SEE LANDSCAPE DRAWINGS
FDC	- FIRE DEPARTMENT CONNECTION	S.M.D.	- SEE MECHANICAL DRAWINGS
FF	- FINISHED FLOOR	SMH	- SIGNAL MANHOLE
FG	- FINISHED GRADE	S.P.D.	- SEE PLUMBING DRAWINGS
FH	- FIRE HYDRANT	STA	- STATION
FL	- FLOW LINE	STD	- STANDARD
FOUND	- FOUNDATION	S/W	- SIDEWALK
FS	- FINISHED SURFACE	TC	- TOP OF CURB
FT	- FOOT	TD	- TRENCH DRAIN
FW	- FIRE WATER	TOD	- TOP OF DOCK
G	- GROUND ELEVATION	TDE	- TOE OF SLOPE
GI	- GREASE INTERCEPTOR	TOS	- TOP OF STAIR
GB	- GRADE BREAK	TOW	- TOE @ TOP OF WALL
GV	- GATE VALVE	TS	- TOP OF SLAB
HCR	- ACCESSIBLE RAMP	TYP	- TYPICAL
HP	- HIGH POINT	UDN	- UNLESS OTHERWISE NOTED
HYD. SEP.	- HYDRODYNAMIC SEPARATOR	UG	- UNDERGROUND
IWV	- INVERT ELEVATION	VC	- VERTICAL CURVE
JP	- JOINT POLE	WM	- WATER METER
JT	- JOINT TRENCH	WV	- WATER VALVE
LIP	- LIP OF GUTTER	W	- WEST
LP	- LOW POINT	WVF	- WELDED WIRE FABRIC
L.S.A.	- LANDSCAPE AREA	W/	- WITH
MAX	- MAXIMUM		

SHEET INDEX

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5. C-5.0	STORMWATER MANAGEMENT PLAN
6. C-6.0	EROSION CONTROL PLAN
7. C-7.0	GRADING SECTIONS

LEGEND

	EXISTING	PROPOSED
SAWCUT AND CONFORM LINE	---	---
A.C. PAVEMENT	=====	=====
CONC. VALLEY GUTTER	=====	=====
CONC. SIDEWALK OR PAD	=====	=====
6" CURB & GUTTER	=====	=====
EDGE OF A.C. PAVEMENT	EP	EP
6" VERTICAL CURB	=====	=====
CENTER LINE	---	---
SANITARY SEWER MAIN	8" SS	8" SS
STORM DRAIN MAIN	12" SD	15" SD
PERFORATED PIPE	6" SD	6" SD
WATER MAIN	6" W	6" W
FIRE WATER MAIN	6" FW	4" FW
DOMESTIC WATER MAIN	6" DW	4" DW
CHILLED WATER MAIN	6" CHW	4" CHW
IRRIGATION LINE	2" IRR	4" IRR
TRENCH DRAIN	=====	=====
CONDENSATE RETURN	CR	CR
METAL BEAM GUARD RAIL	=====	=====
SILT FENCE	=====	=====
FLOW LINE	---	---
CHAIN LINK FENCE	x x x	x x x
GAS MAIN	G	2" G
CAP AND PLUG END DUCT BANK	E	E
OVERHEAD ELECTRIC LINE	OHE	OHE
UNDERGROUND ELECTRIC LINE	UGE	UGE
STREET LIGHT CONDUIT	SL	SL
CONTOUR ELEVATION LINE	85	90 89
SPOT ELEVATION	x 95.94	FG 95.94
DIRECTION OF SLOPE	2:1	1% 1%
GAS METER	GM	GM
GAS VALVE	GV	GV
WATER METER	WM	WM
SWING CHECK VALVE	SCV	SCV
WATER VALVE	WV	WV
FIRE HYDRANT	FH	FH
BACK FLOW PREVENTOR	BFP	BFP
POST INDICATOR VALVE	PIV	PIV
FIRE DEPARTMENT CONNECTION	FDC	FDC
WATER LINE TEE	WT	WT
ELECTRIC AND SIGNAL	E	E
AIR RELEASE VALVE	ARV	ARV
SIGN	S	S
ACCESSIBLE RAMP	AR	AR
CONCRETE THRUST BLOCK	CTB	CTB
REDUCER	R	R
SANITARY SEWER MANHOLE	SMH	SMH
SANITARY SEWER CLEANOUT	SSCO	SSCO
STORM DRAIN MANHOLE	SDMH	SDMH
STORM DRAIN CLEANOUT	SDCO	SDCO
STORM DRAIN AREA DRAIN	SDAD	SDAD
STORM DRAIN CATCH BASIN	SDCB	SDCB
STORM DRAIN CURB INLET	SDCI	SDCI
STORM DRAIN CLEANOUT	SDCO	SDCO
ELECTROVALVE	EV	EV
JOINT POLE	JP	JP
TRANSFORMER	T	T
OVERLAND RELEASE	OR	OR
CONSTRUCTION DETAIL REFERENCE	15 C5.2	15 C5.2
	→	→
	→	→



UNAUTHORIZED CHANGES AND USES
CAUTION: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of the plans.

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, not or alleged in connection with the performance of work on this project, excepting liability arising from sole negligence of design professional.

Consulting Engineers
& Land Surveyors
of California



HYATT HOUSE HOTEL AT VALLCO PARK

WOLFE ROAD & INTERSTATE 280
CUPERTINO, CALIFORNIA

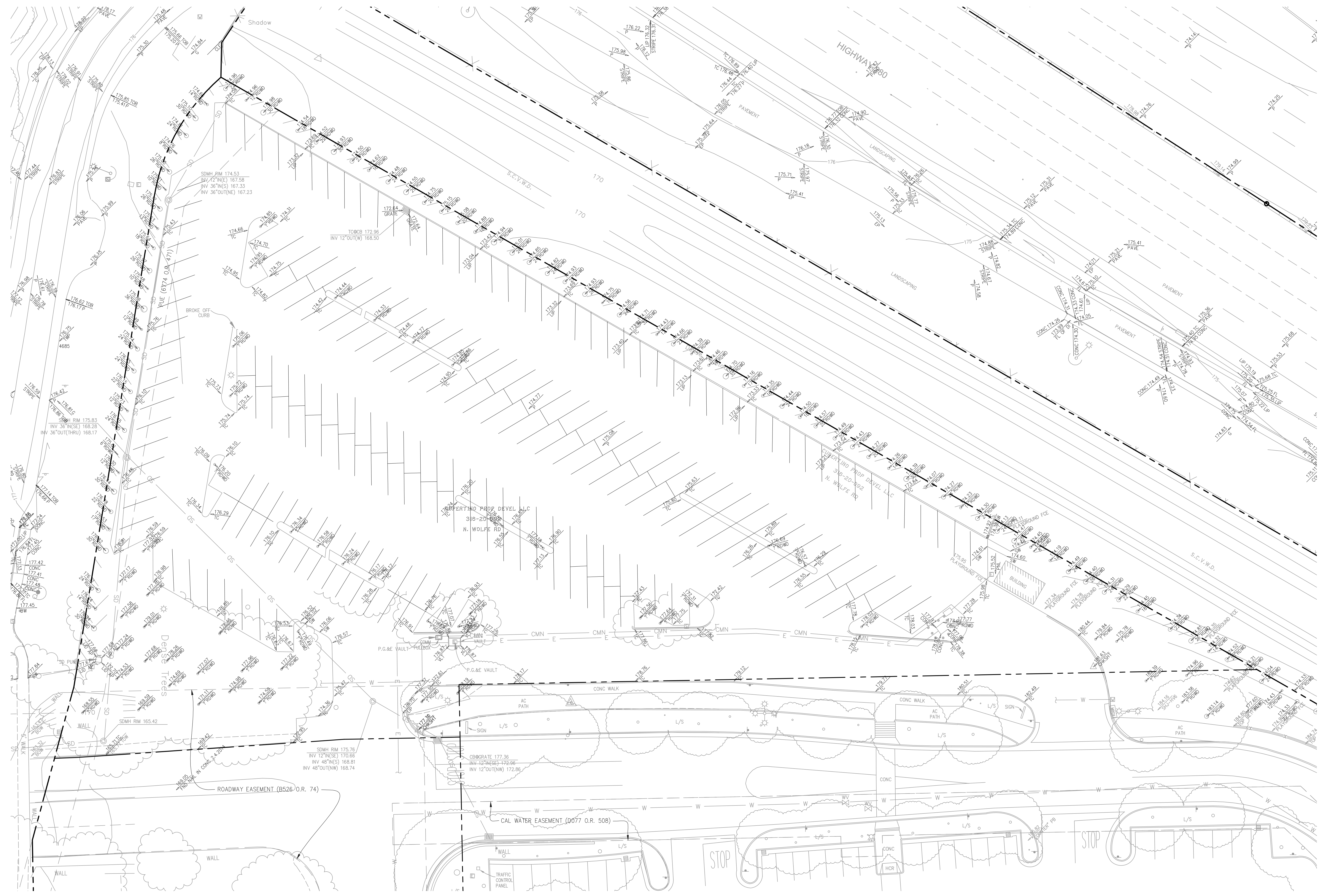
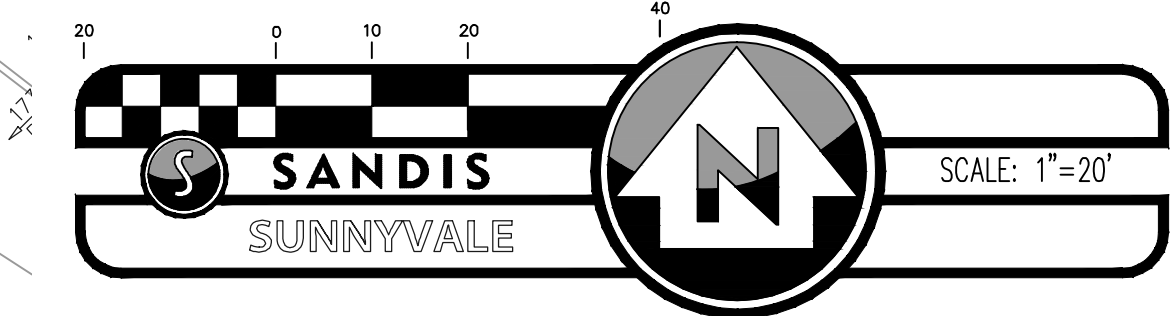
COVER SHEET

SCALE: NTS

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C-1.0



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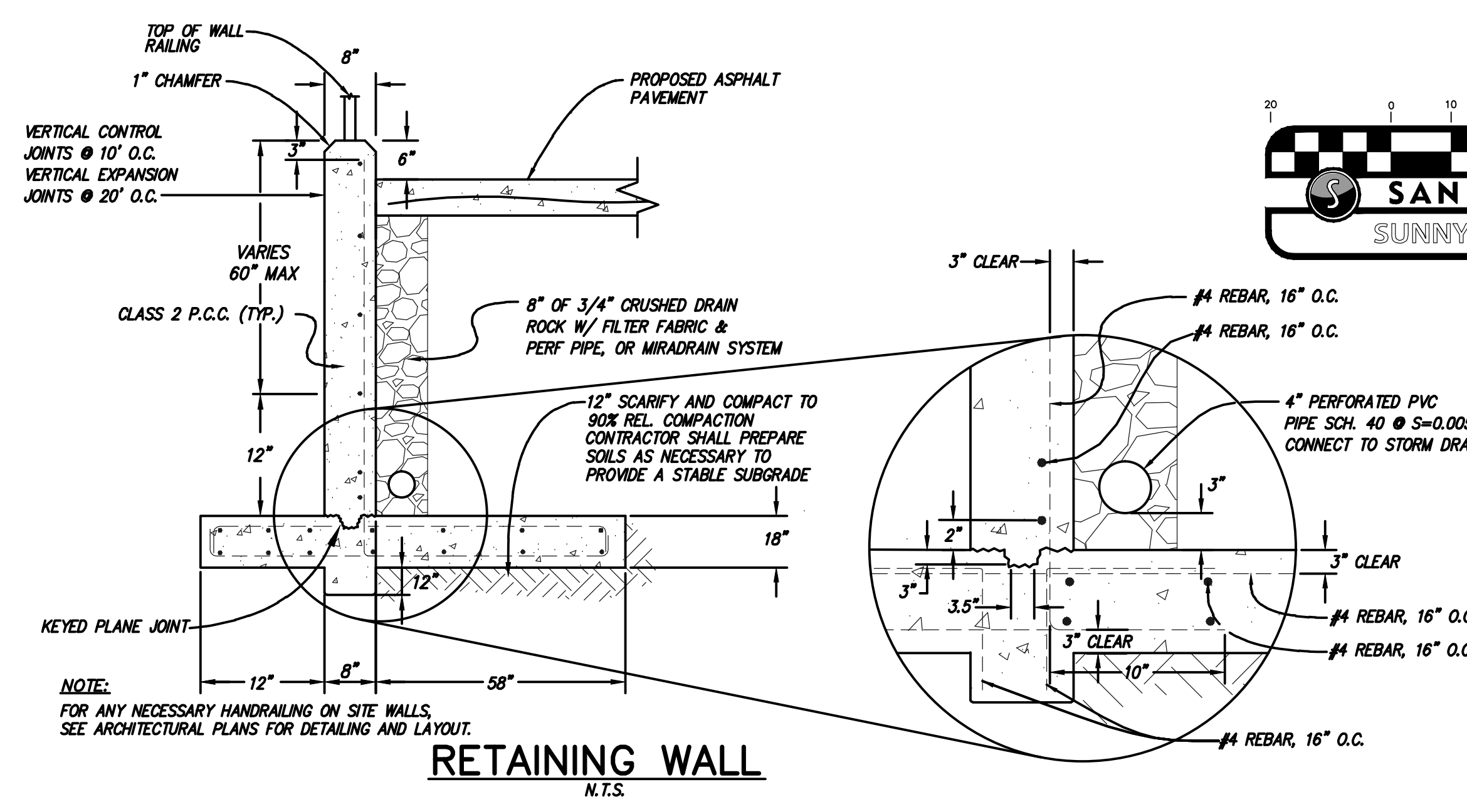
TOPOGRAPHIC SURVEY

SCALE: 1"=20'

DATE: 10/03/2014
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C-2.0

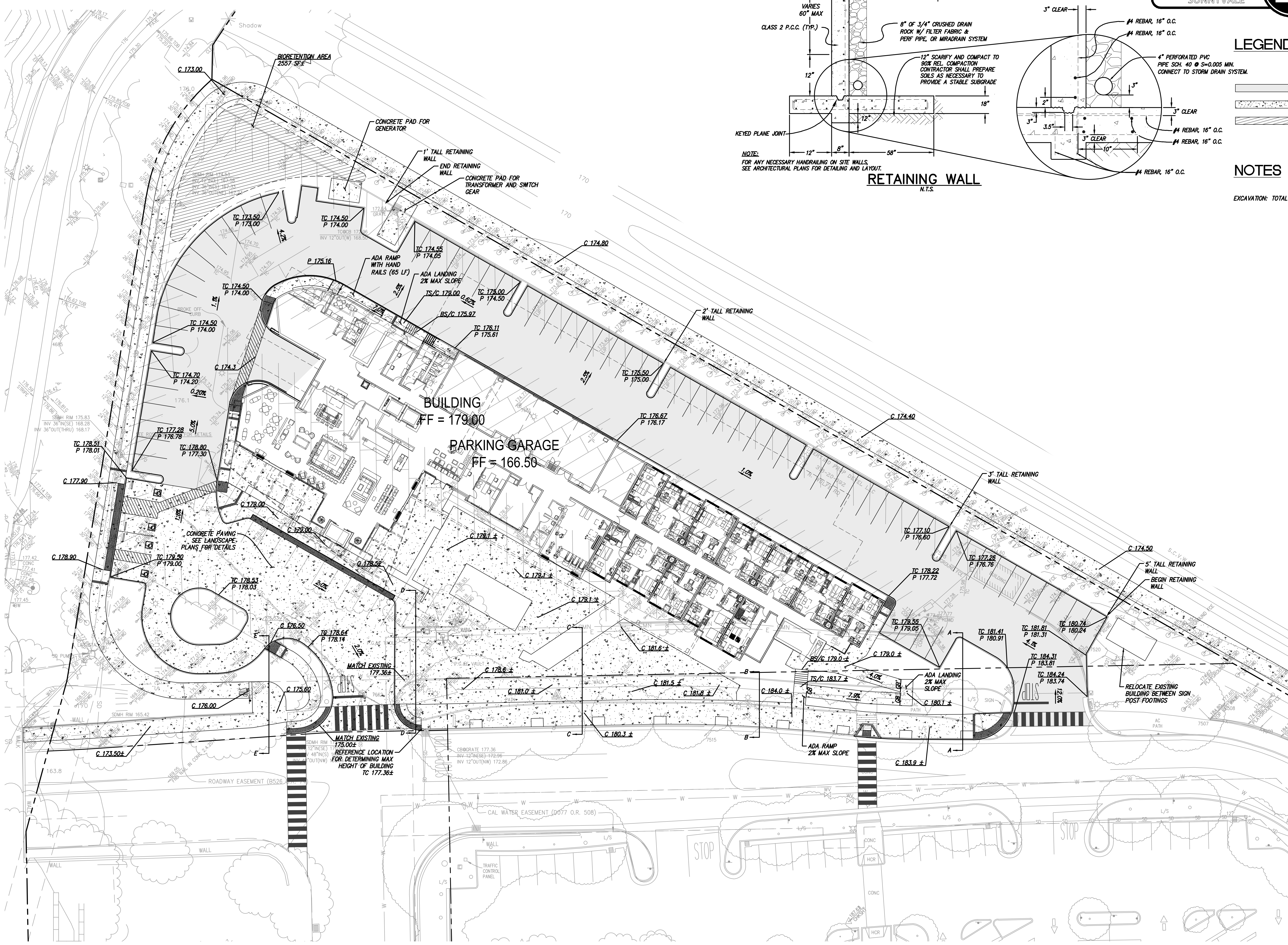


LEGEND

	A.C. PAVEMENT
	CONC. SIDEWALK OR PAD
	BIORETENTION AREA

NOTES

EXCAVATION: TOTAL CUT OF APPROXIMATELY 12,952 CY



HYATT HOUSE HOTEL AT VALLCO PARK
 WOLFE ROAD & INTERSTATE 280
 CUPERTINO, CALIFORNIA

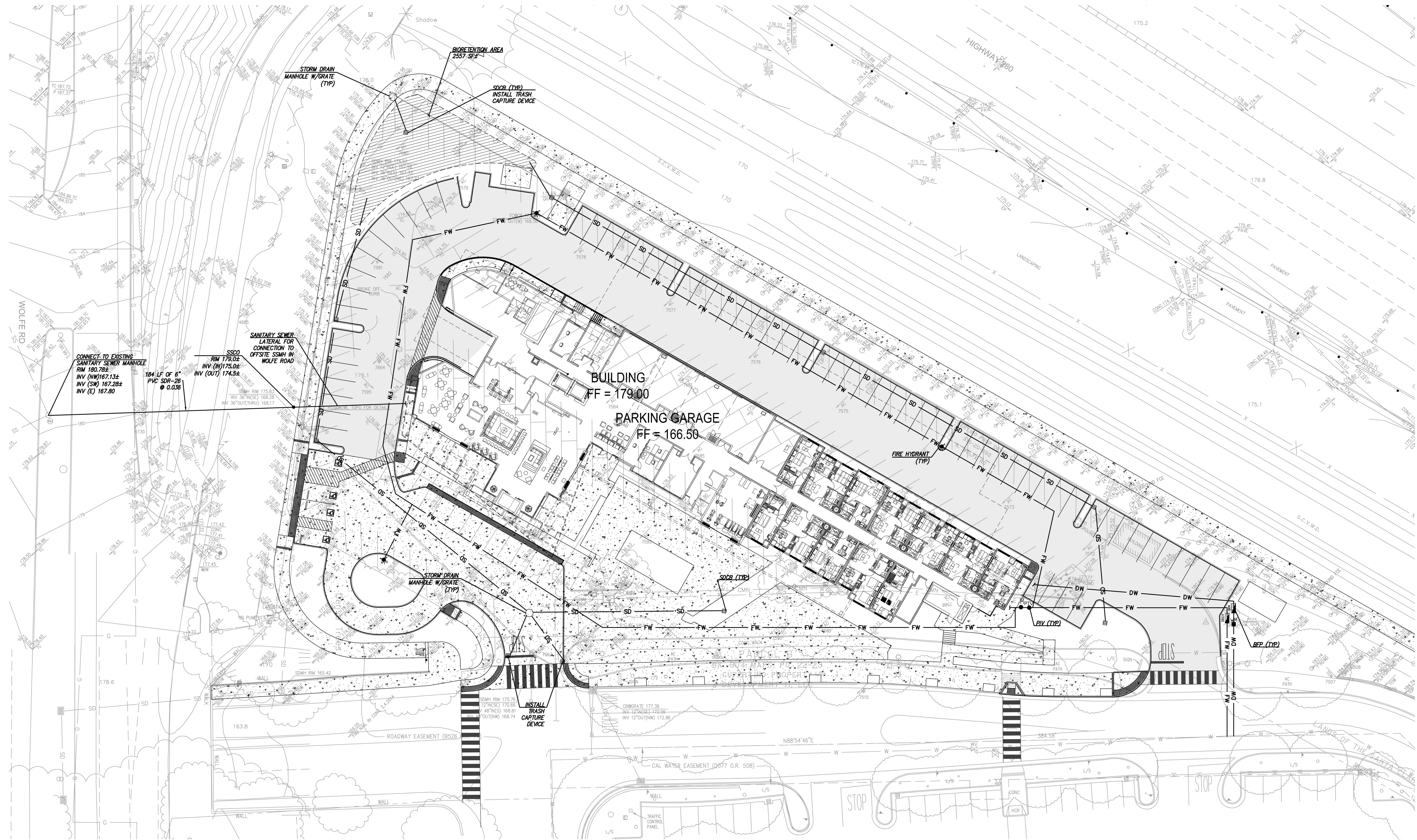
GRADING PLAN
 SCALE: 1"=20'

DATE: 10/03/2014
 JOB NO.: 1345P



C-3.0

File: X:\P\1214010\ENG\HYATT HOUSE\CONTRACT\100R00\C-3.0_GRADE.dwg Date: Oct 02, 2014 - 2:40pm, mwinslow



HYATT HOUSE HOTEL AT VALLCO PARK

WOLFE ROAD & INTERSTATE 280
CUPERTINO, CALIFORNIA

UTILITY PLAN


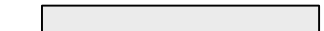
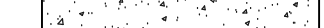
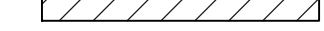
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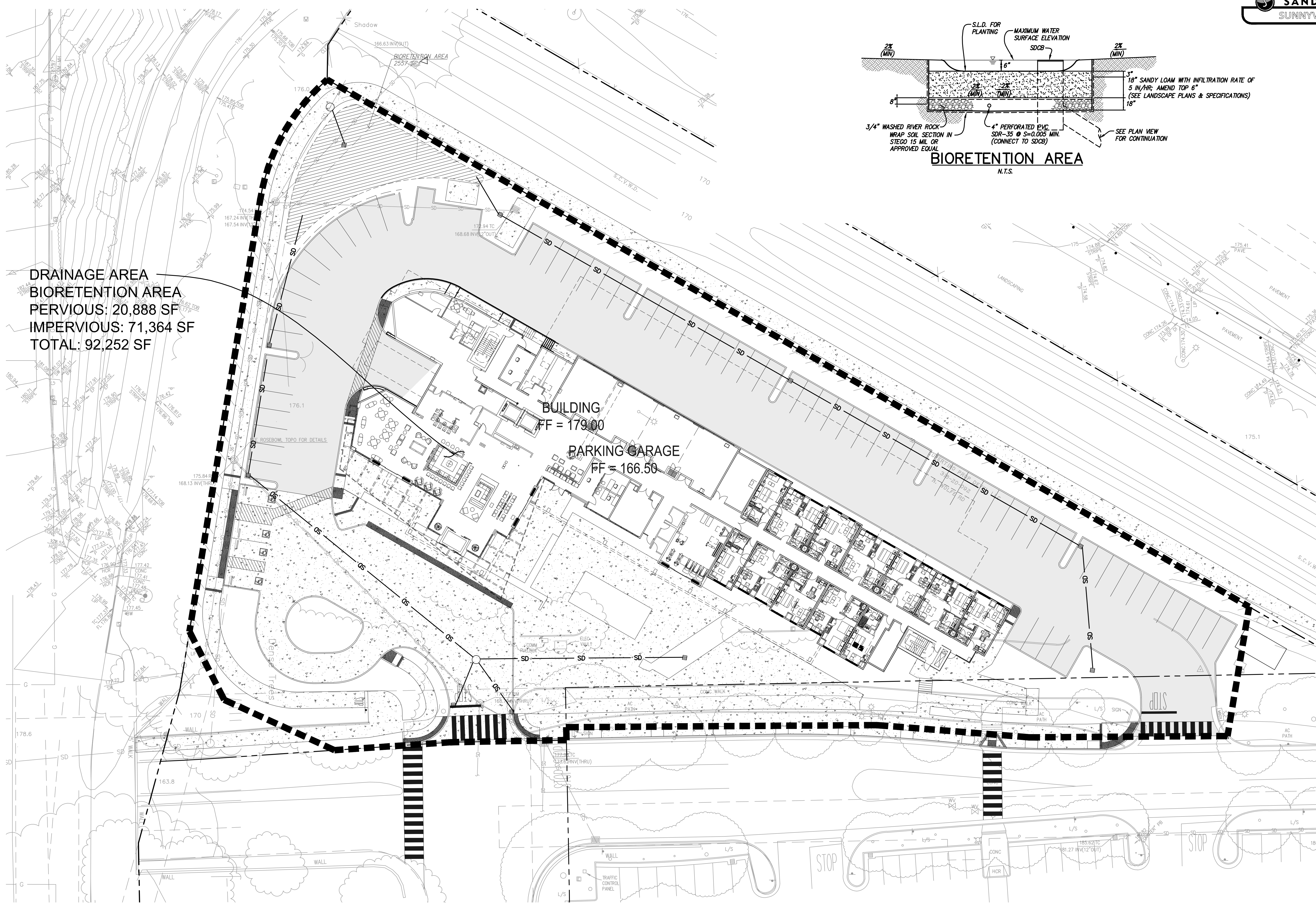
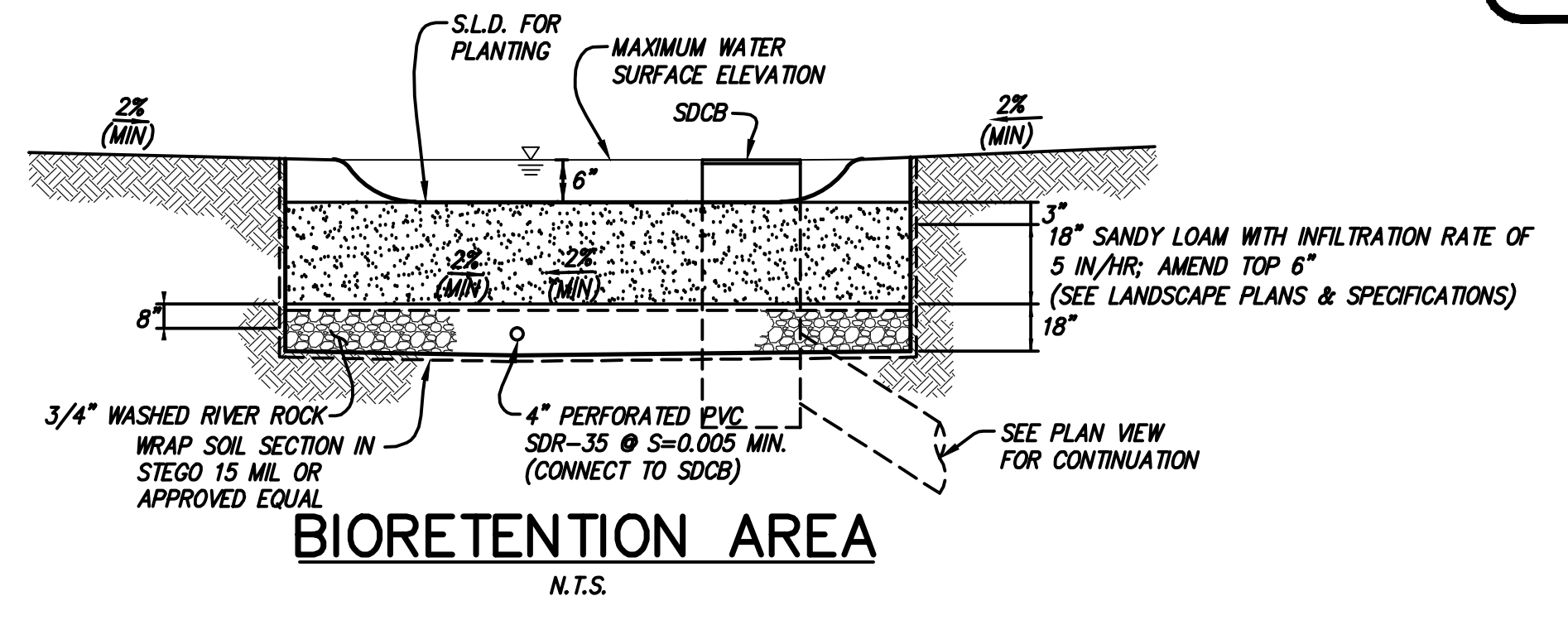
DATE: 10/03/2014
JOB NO.: 1345P



C-4.0

LEGEND

-  DRAINAGE BOUNDARY
-  A.C. PAVEMENT
-  CONC. SIDEWALK OR PAD
-  BIORETENTION AREA



DRAINAGE AREA
BIORETENTION AREA
 PERVIOUS: 20,888 SF
 IMPERVIOUS: 71,364 SF
 TOTAL: 92,252 SF

BUILDING
FF = 179.00

PARKING GARAGE
FF = 166.50



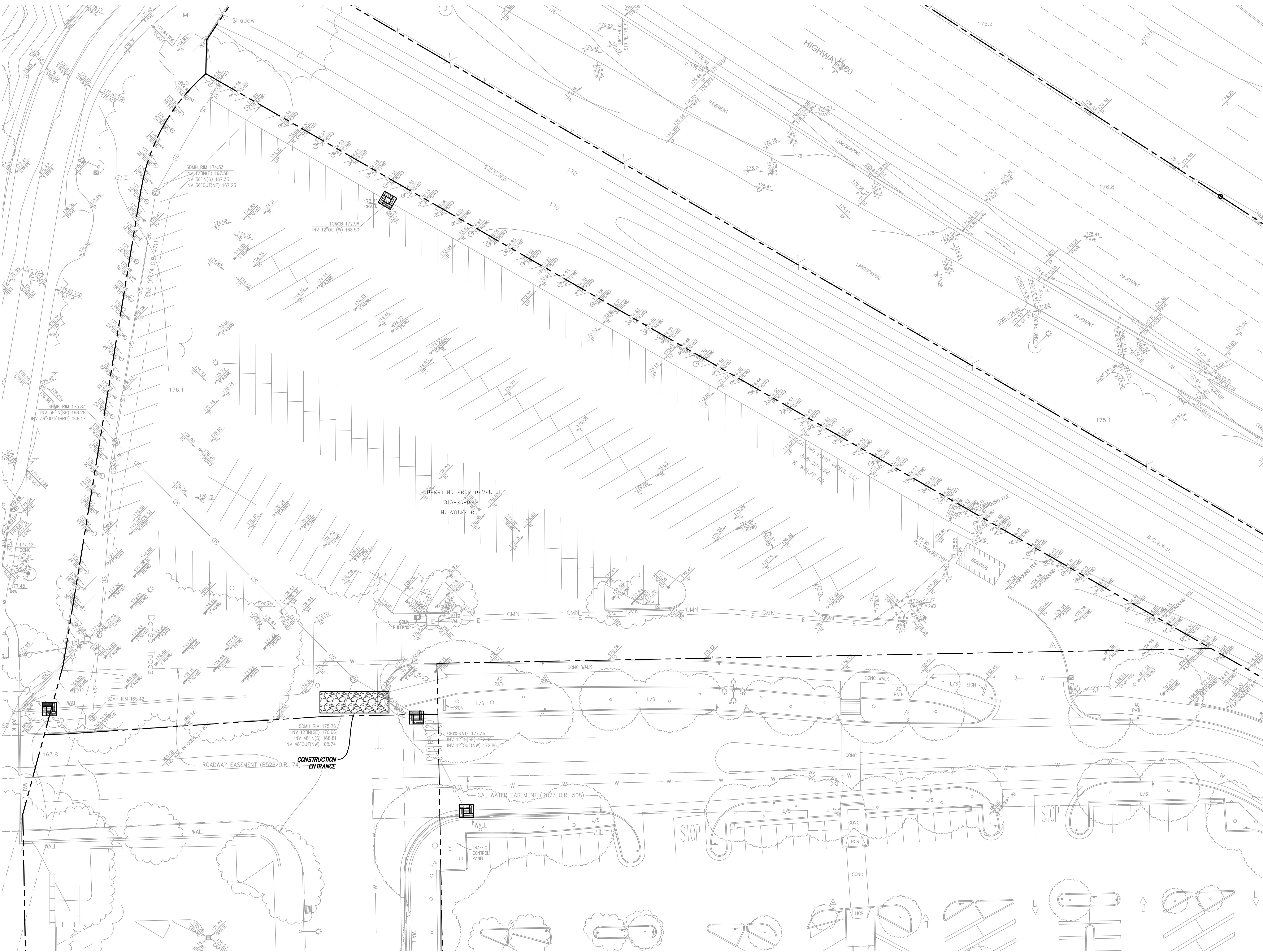
HYATT HOUSE HOTEL AT VALLCO PARK
 WOLFE ROAD & INTERSTATE 280
 CUPERTINO, CALIFORNIA

STORMWATER MANAGEMENT PLAN
 SCALE: 1"=20'

DATE: 10/03/2014
 JOB NO.: 1345P



C-5.0



SANDIS
SUNNYVALE

SCALE: 1"=20'

LEGEND

CONSTRUCTION ENTRANCE

INLET PROTECTION



HYATT HOUSE HOTEL AT VALLCO PARK
WOLFE ROAD & INTERSTATE 280
CUPERTINO, CALIFORNIA

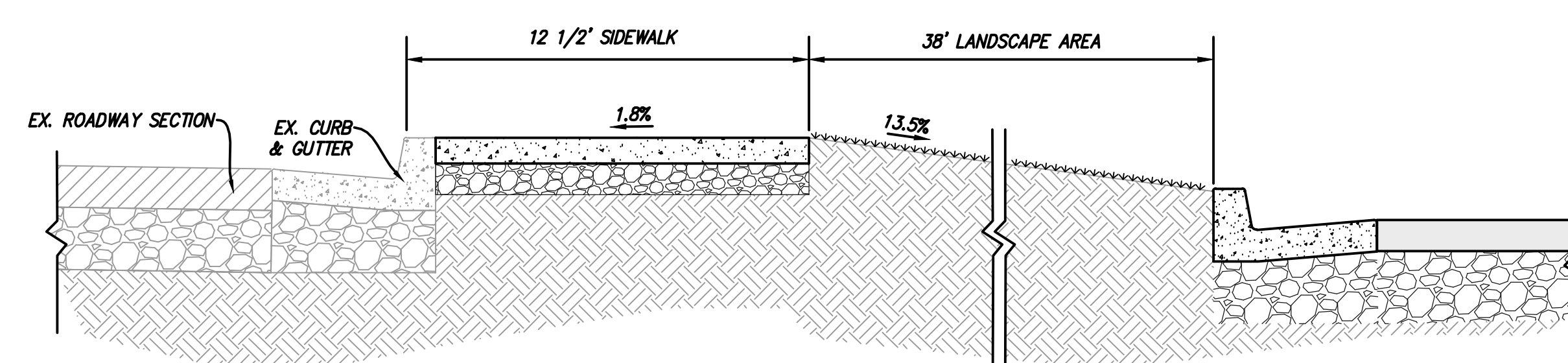
EROSION CONTROL PLAN
SCALE: 1"=20'

DATE: 10/03/2014
JOB NO.: 1345P

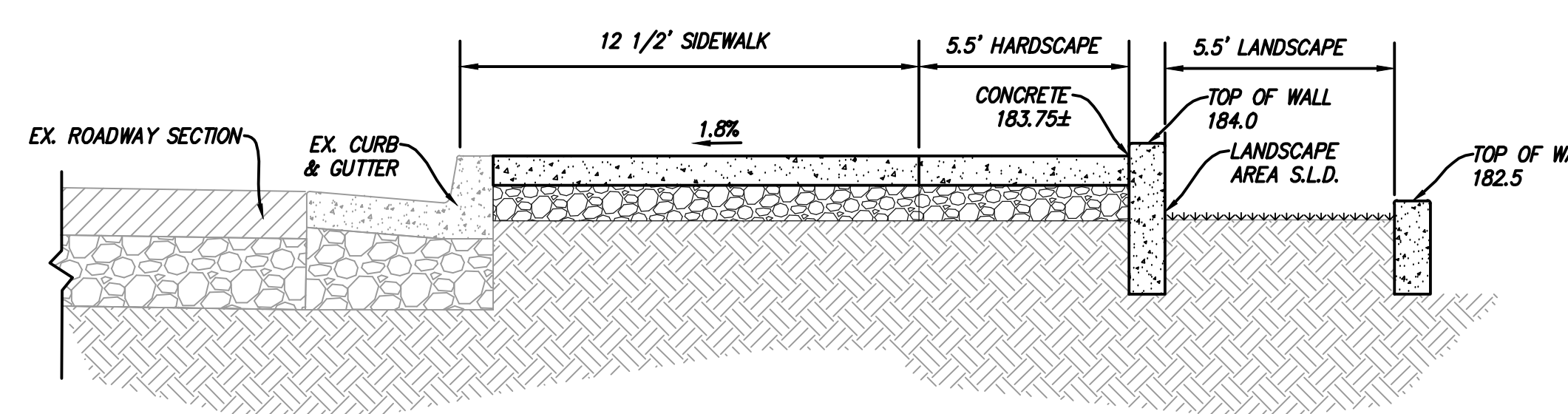
GENE FONG ASSOCIATES
ARCHITECTURE · PLANNING · INTERIORS
1130 WESTWOOD BLVD., CA 90024
310-209-7520 310-209-7516 FAX

C-6.0

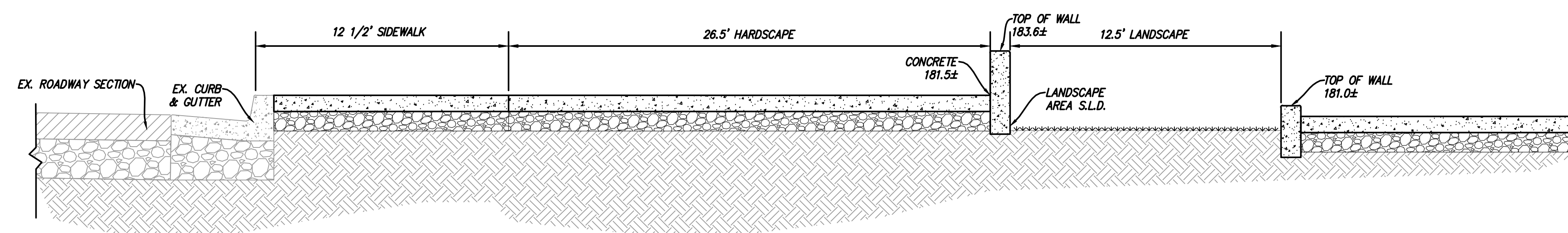
File: X:\P\214010\ENG\HYATT HOUSE\CONTRACT\PLANNING PACKAGE\C-5_1_EROSION CONTROL.dwg Date: Oct 02, 2014 - 2:47pm, mwinslow



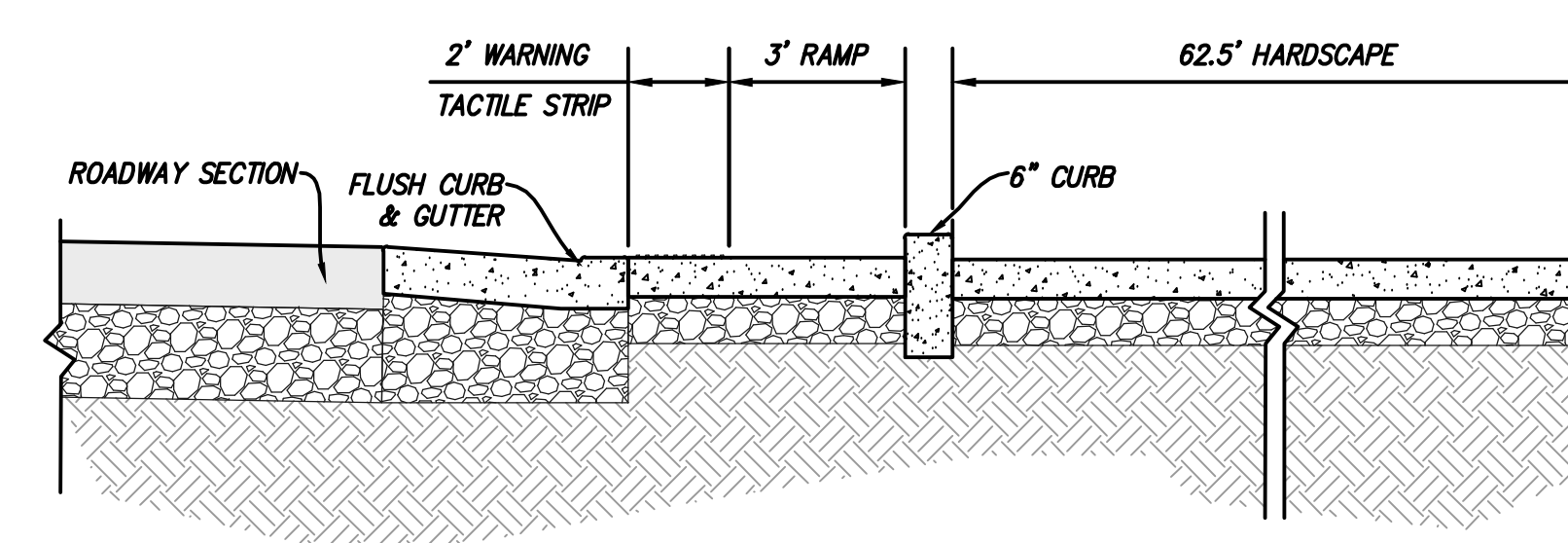
CROSS SECTION A-A
SCALE: NTS



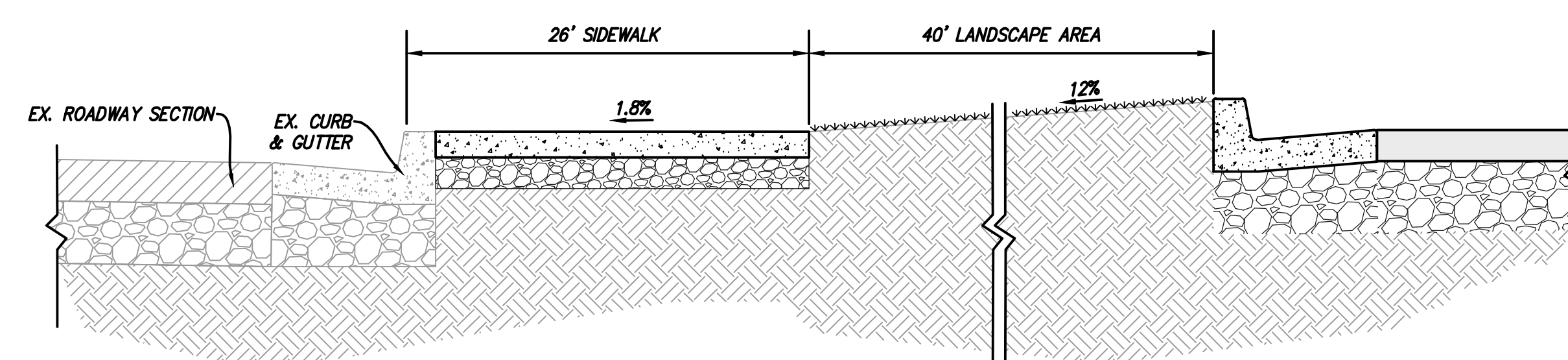
CROSS SECTION B-B
SCALE: NTS



CROSS SECTION C-C
SCALE: NTS



CROSS SECTION D-D
SCALE: NTS



CROSS SECTION E-E
SCALE: NTS

LEGEND

- A.C. PAVEMENT
- CONG. SIDEWALK OR PAD
- BIORETENTION AREA

NOTES

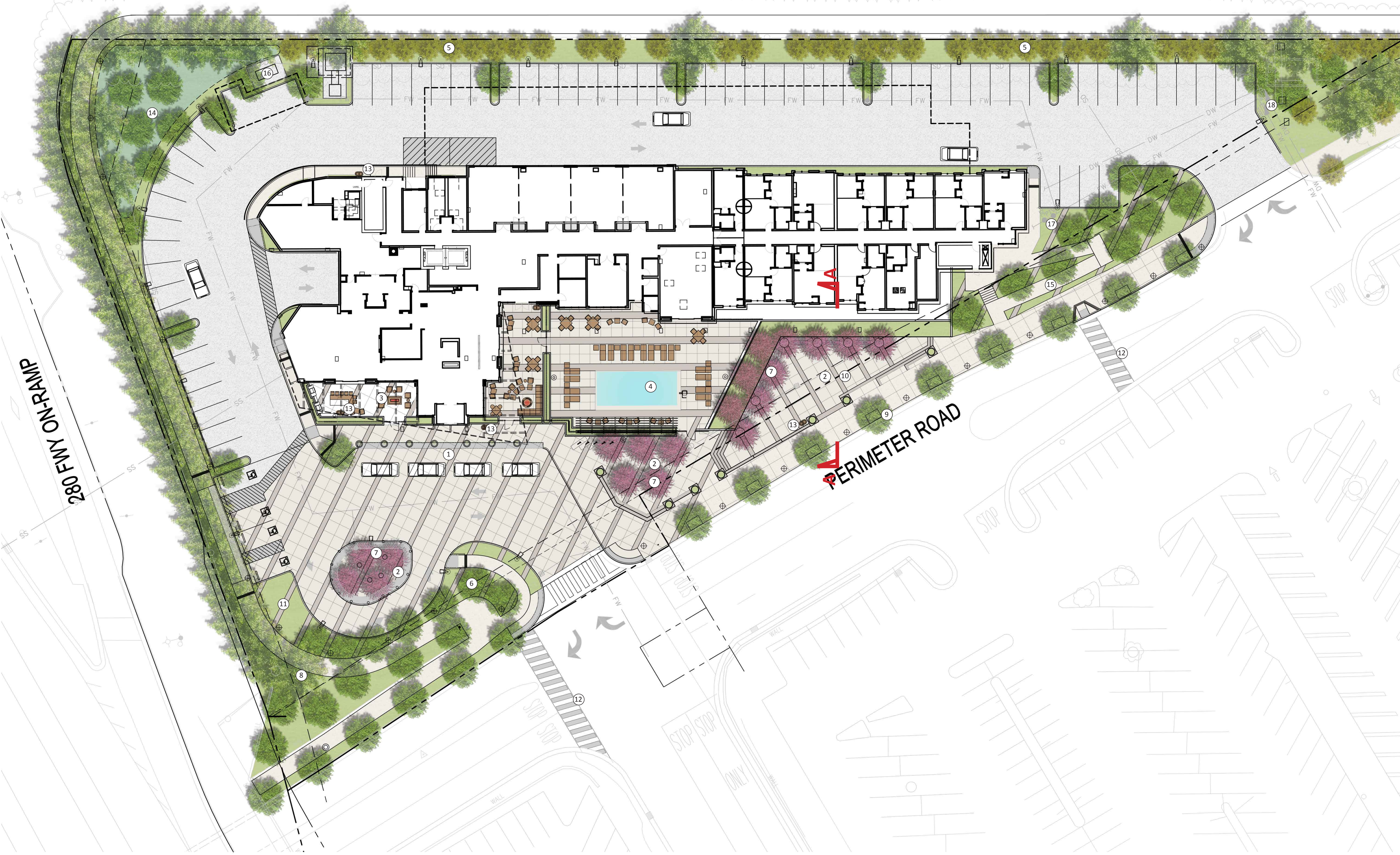
EXCAVATION: TOTAL CUT OF APPROXIMATELY 12,952 CY

280 FREEWAY

LANDSCAPE AREA	
EXISTING ONSITE AREA	20,581 SQFT
EXISTING OFFSITE AREA	3,036 SQFT
TOTAL EXISTING LANDSCAPE AREA	23,617 SQFT
PROPOSED ONSITE AREA	13,500 SQFT
PROPOSED BIORETENTION AREA	2,557 SQFT
PROPOSED OFFSITE AREA	1,720 SQFT
TOTAL PROPOSED LANDSCAPE AREA	17,777 SQFT
PROPOSED PARKING LOT LANDSCAPE AREA	11,928 SQFT
NET LANDSCAPE AREA	+985 SQFT
PUBLIC OPEN SPACE	17,000+/- SQFT

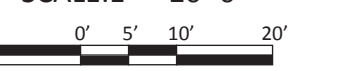
LEGEND

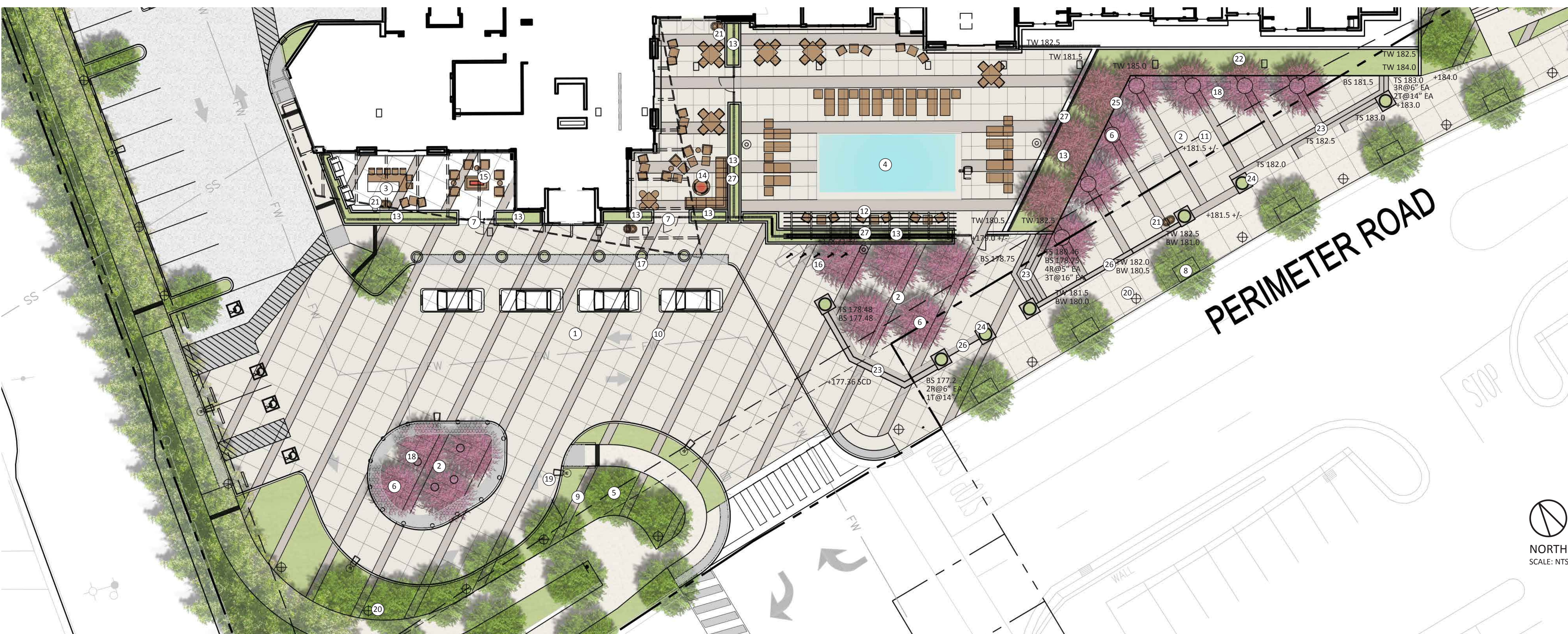
- ① DROP-OFF / ENTRY PLAZA
- ② PUBLIC OPEN SPACE
- ③ OUTDOOR DINING
- ④ POOL
- ⑤ EXISTING TREE
- ⑥ SHADE TREE
- ⑦ FLOWERING / SEASONAL TREE IN GRATE
- ⑧ UPRIGHT EVERGREEN TREE
- ⑨ STREET TREE IN GRATE
- ⑩ PUBLIC ART
- ⑪ DECORATIVE PAVING BANDS (GRAVEL OR CONCRETE)
- ⑫ PEDESTRIAN CROSSWALK
- ⑬ TRASH/RECYCLING BIN
- ⑭ STORMWATER PLANTING
- ⑮ ADA ACCESSIBLE RAMP
- ⑯ TRANSFORMER
- ⑰ FDC AND PIV UTILITIES
- ⑱ BFP UTILITIES



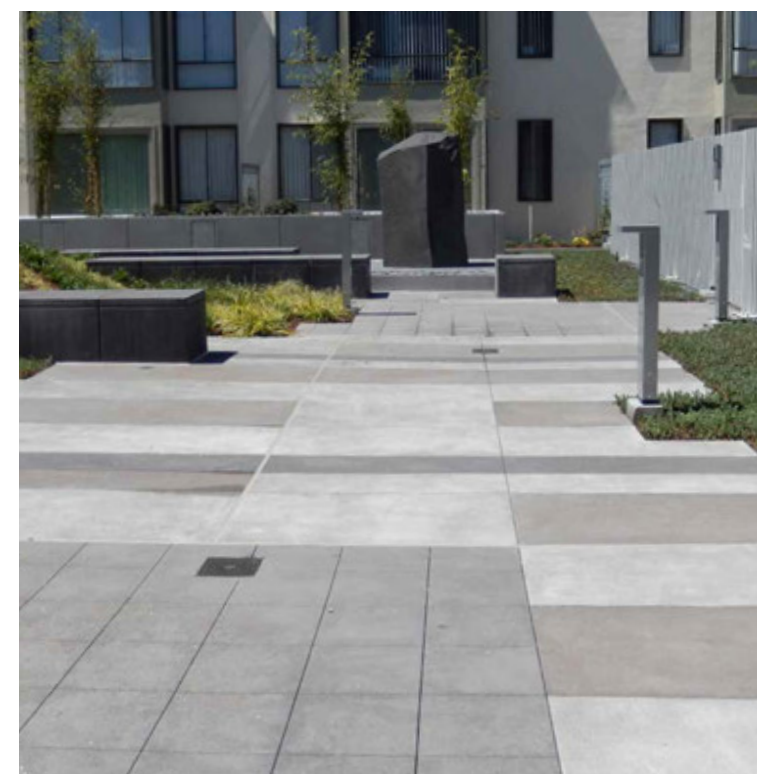
NORTH

SCALE: 1" = 20'-0"

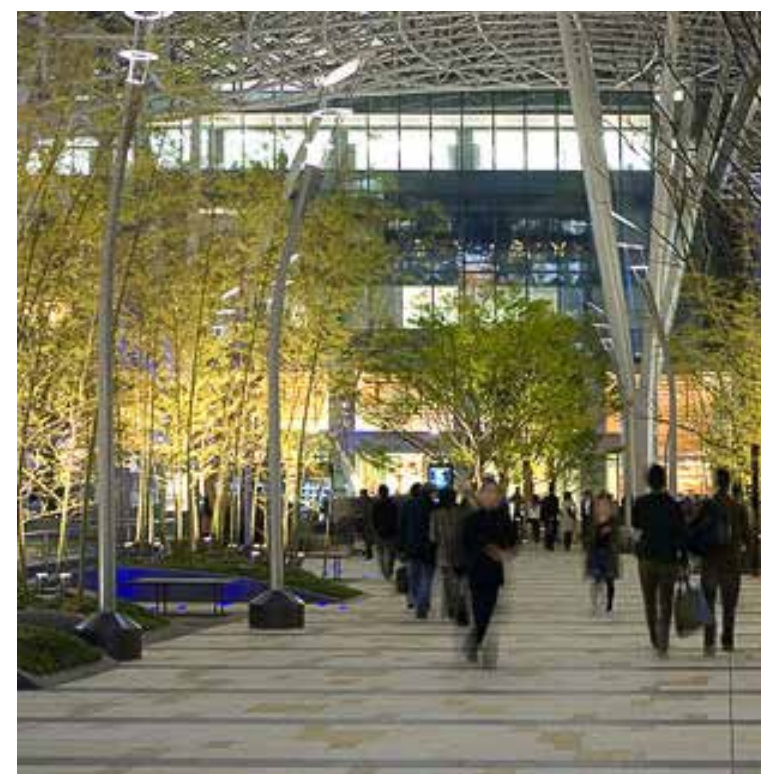




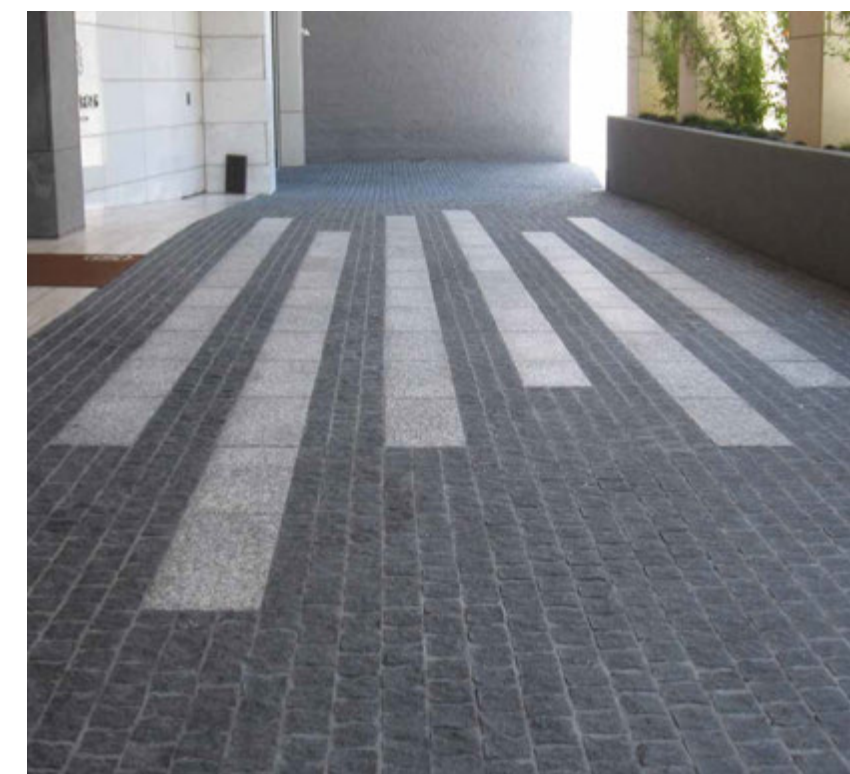
- LEGEND**
- 1 DROP-OFF / ENTRY PLAZA
 - 2 PUBLIC OPEN SPACE
 - 3 OUTDOOR DINING
 - 4 POOL
 - 5 SHADE TREE
 - 6 FLOWERING / SEASONAL TREE IN GRATE
 - 7 GATE AT REQUIRED HEIGHT FOR ENCLOSING AREA WITH SALES OF ALCOHOL
 - 8 STREET TREE IN GRATE
 - 9 DECORATIVE PAVING BANDS (GRAVEL OR CONCRETE)
 - 10 DECORATIVE CONCRETE PAVING WITH BANDS
 - 11 PUBLIC ART
 - 12 TRELLIS
 - 13 RAISED PLANTER
 - 14 FIRE PIT
 - 15 COMMUNITY TABLE WITH FIRE PIT
 - 16 BIKE RACKS (10 BIKES)
 - 17 PLANTER POT OR BOLLARD
 - 18 PUBLIC SEATING
 - 19 PARKING LOT LUMINERE ON 25' POLE
 - 20 PEDESTRIAN-SCALE POLE LIGHT, SEE FIXTURE Z1 ON E-0.1
 - 21 TRASH/RECYCLE BIN
 - 22 SCREEN PLANTING
 - 23 FEATHER STEPS UP TO PLAZA
 - 24 COLOR BOWLS ON PILASTERS
 - 25 SLOPING METAL WALL
 - 26 SEAT WALL
 - 27 POOL FENCE
- NORTH**
SCALE: NTS



DECORATIVE CONCRETE PAVING WITH BANDS



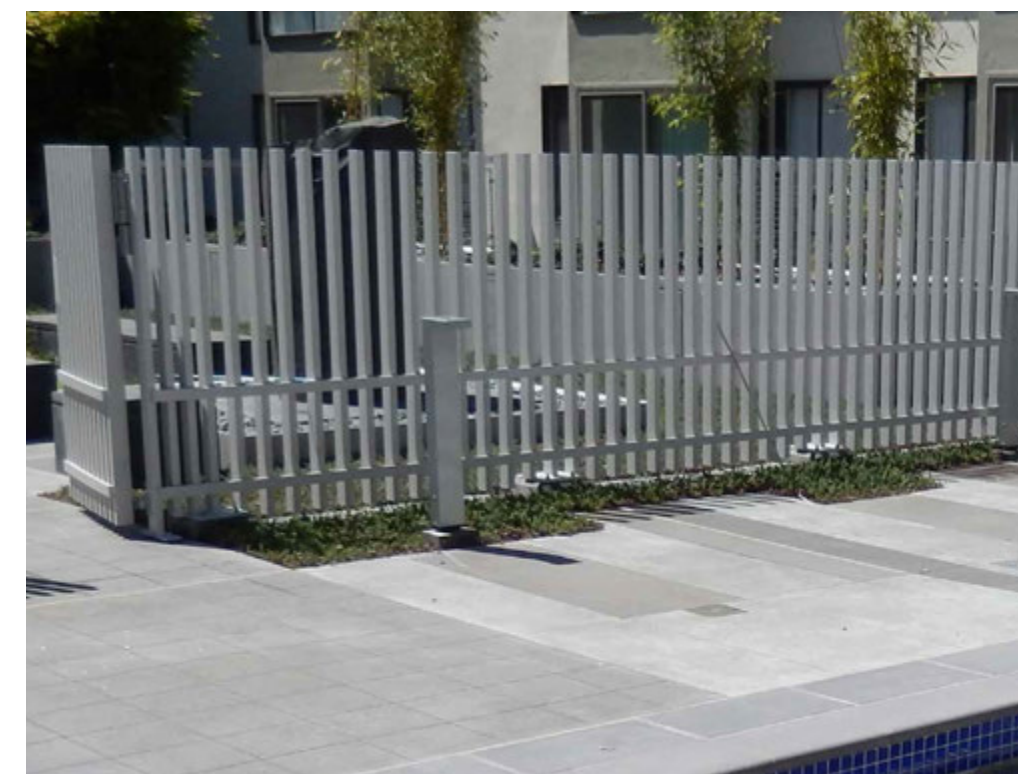
COMMUNITY TABLE WITH FIRE PIT



ADA COMPLIANT PAVER



POOL FENCE



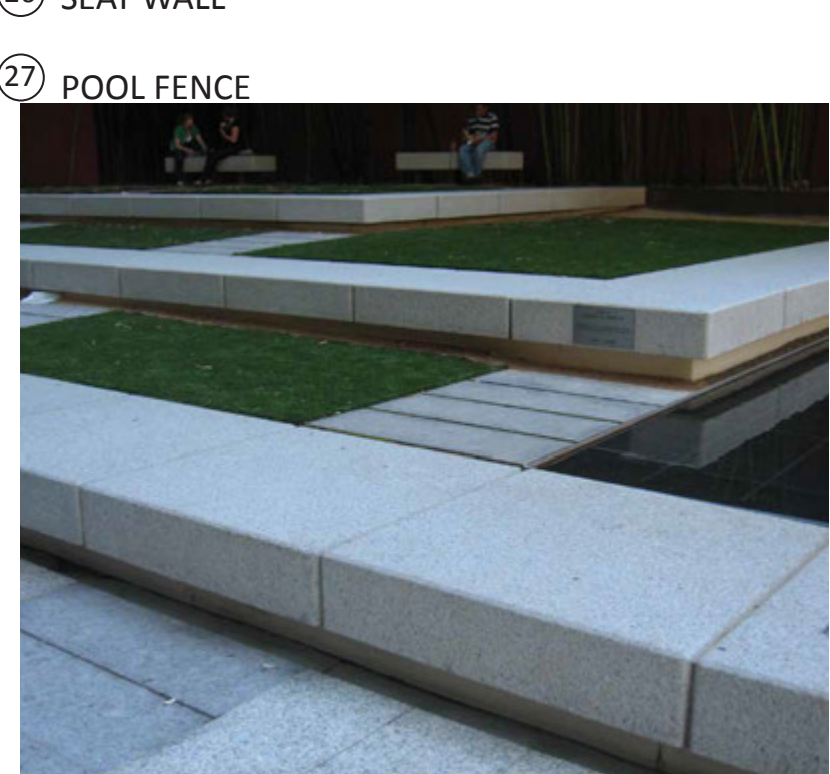
METAL WALL



SEAT WALL



FIRE PIT



PEDESTRIAN-SCALE LIGHT



BIKE RACK OPTIONS



TRASH RECEPTACLE



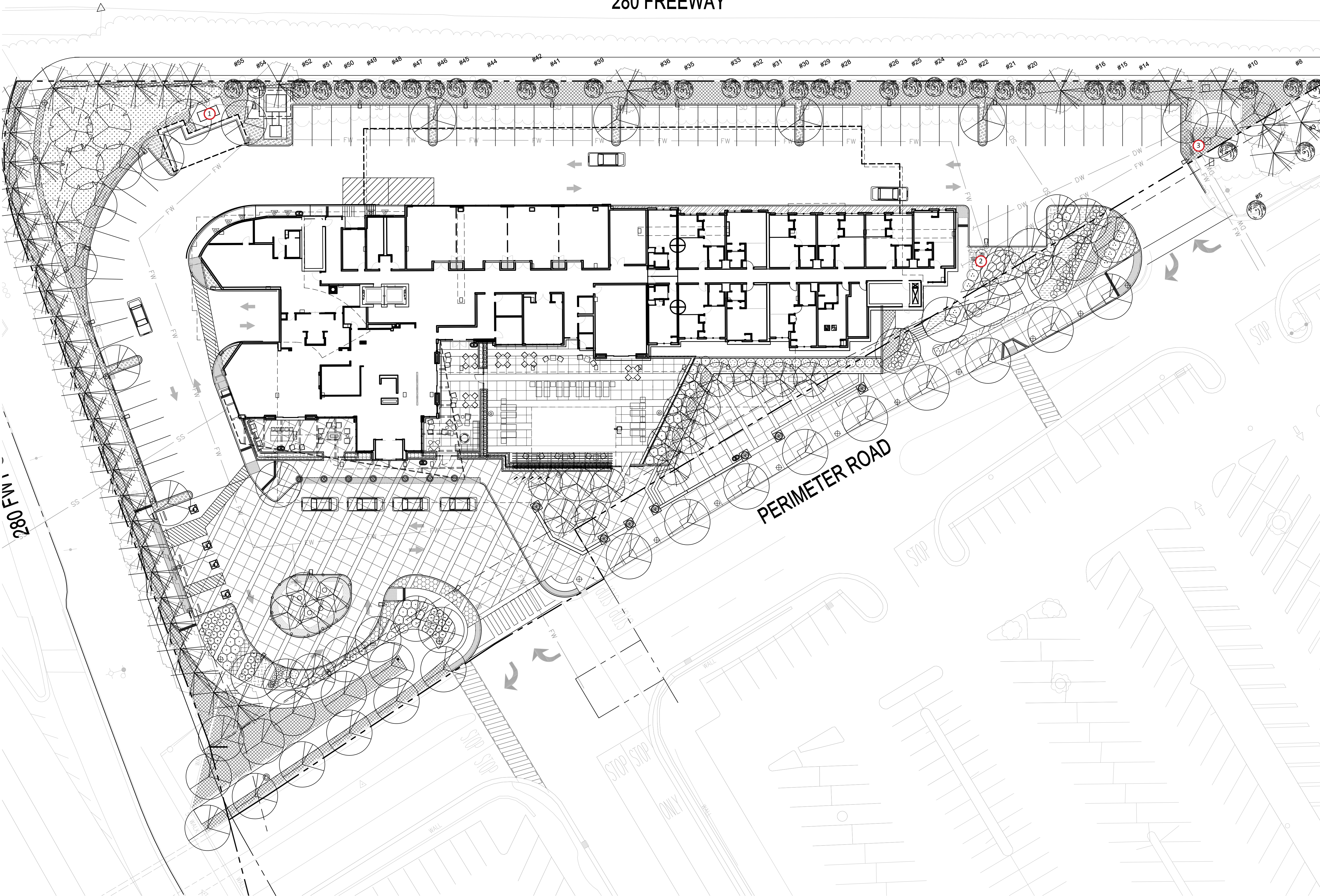
CABLE TRELLIS



PLANTER POTS



280 FREEWAY



PLANT LIST

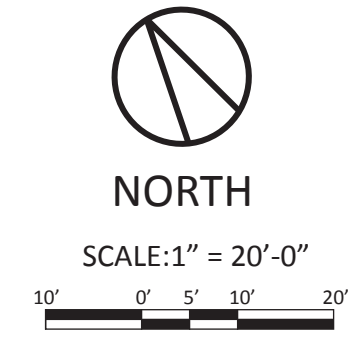
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	WTR USE
TREES						
⊗	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX	PER PLAN	19	L
⊗	PLATANUS X ACERIFOLIA 'COLUMBIA'	LONDON PLANE	24" BOX	PER PLAN	39	M
⊗	PLATANUS X ACERIFOLIA 'COLUMBIA'	LONDON PLANE	36" BOX	PER PLAN	15	M
⊗	SEQUOIA SEMPERVIRENS 'APTOS BLUE'	COAST REDWOOD	24" BOX	PER PLAN	41	H
⊗	TRISTANIOPSIS LAURINA	WATER GUM	24" BOX	PER PLAN	3	H
SHRUBS						
⊕	ANIGOZANTHOS BUSH GOLD	KANGAROO PAW	1 GAL	2'-0" OC	39	L
⊕	BULBINE FRUTESCENS	STALKED BULBINE	1 GAL	2'-0" OC	34	L
⊕	LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	LAVENDER	1 GAL	2'-0" OC	38	L
⊕	LEUCOPHYLLUM FRUTESCENS 'COMPACTUM'	TEXAS RANGER	5 GAL	5'-0" OC	12	L
⊕	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	4'-0" OC	64	L
⊕	PHLOMIS FRUTICOSA	JERUSALEM SAGE	5 GAL	4'-0" OC	23	L
⊕	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	5 GAL	3'-0" OC	40	L
⊕	STIPA GIGANTEA	GIANT FEATHER GRASS	5 GAL	3'-0" OC	21	L
⊕	TEUCRIUM FRUTICANS 'AZAREUM'	BUSH GERMANDER	5 GAL	4'-0" OC	22	L
GROUNDCOVERS						
⊗	ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL	3'-0" OC	-	L
⊗	ARTEMISIA SCHMIDTIANA	SILVER MOUND	1 GAL	1'-0" OC	-	L
⊗	CEANOTHUS GLORIOSUS 'ANCHOR BAY'	ANCHOR BAY CEANOTHUS	1 GAL	3'-0" OC	-	L
⊗	MAHONIA REPENS	CREEPING MAHONIA	1 GAL	3'-0"	-	L
⊗	SARCOCOCCA HOOKERIANA HUMILIS	SWEET SARCOCOCCA	1 GAL	3'-0" OC	-	L
⊗	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	ROSEMARY	1 GAL	3'-0" OC	-	L
⊗	GALVEZIA SPECIOSA	ISLAND BUSH SNAPDRAGON	1 GAL	3'-0" OC	-	L
BIORETENTION						
⊕	CHONDROPETALUM ELEPHANTINUM	CAPE RUSH	15 GAL	6'-0" OC	-	L
⊕	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	2'-0" OC	-	L
⊕	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	2'-0" OC	-	L
⊕	JUNCUS PATENS	CALIF. GRAY RUSH	1 GAL	2'-0" OC	-	L
⊕	SCAEVOLA 'TOP POT BLUE'	FAN FLOWER	1 GAL	3'-0" OC	-	L
VINES						
⊕	CLEMATIS VITICELLA 'ETOILE VIOLETTE'	ITALIAN CLEMATIS	1 GAL	4'-0" OC	7	L

IRRIGATION NOTE:
 ALL PLANTING AREAS WILL BE IRRIGATED USING A MAXIMUM WATER EFFICIENCY, FULLY AUTOMATIC IRRIGATION SYSTEM TO INCORPORATE ALL APPLICABLE REQUIREMENTS OF SECTION 14.15.050 OF CHAPTER 14.15. OF THE CUPERTINO MUNICIPAL CODE AS WELL AS CALIFORNIA SB 1881 REQUIREMENTS.

PLANTING NOTE:
 ALL PLANT MATERIAL AND SIZES WILL BE INSTALLED IN ACCORDANCE WITH CITY OF CUPERTINO REQUIREMENTS.

PARKING LOT TREES:
 NUMBER OF REQUIRED TREES PER CMC 19.124.040.H.2: QTY OF 15
 NUMBER OF TREES ADJACENT TO PARKING: 15
 NUMBER OF ALLOWABLE PERIMETER TREES (94X50%): 47

- LEGEND**
- ① TRANSFORMER
 - ② FDC AND PIV UTILITIES
 - ③ BFP UTILITIES



TREES



PLATANUS X ACERIFOLIA 'COLUMBIA'
LONDON PLANE



PISTACIA CHINESIS
CHINESE PISTACHE



SEQUOIA SEMPERVIRENS
COAST REDWOOD



TRISTANIOPSIS LAURINA
WATER GUM

SHRUBS



ANIGOZANTHOS 'BUSH GOLD'
KANGAROO PAW



BULBINE FRUTESCENS
STALKED BULBINE



LAVANDULA ANGUSTIFOLIA 'HIDCOTE'
LAVENDER



LEUCOPHYLLUM FRUTESCENS
'COMPACTUM'
TEXAS RANGER



MUHLENBERGIA RIGENS
DEER GRASS



PHLOMIS FRUTICOSA
JERUSALEM SAGE



SALVIA LEUCANTHA
'SANTA BARBARA'
MEXICAN BUSH SAGE



STIPA GIGANTEA
GIANT FEATHER GRASS



TEUCRIUM FRUTICANS 'AZAREUM'
BUSH GERMANDER

GROUNDCOVERS



ARCTOSTAPHYLOS 'PACIFIC MIST'
MANZANITA



ARTEMISIA SCHMIDTIANA
SILVER MOUND



CEANOTHUS GLORIOSUS 'ANCHOR BAY'
ANCHOR BAY CEANOTHUS



MAHONIA REPENS
CREEPING MAHONIA



SARCOCOCCA HOOKERIANA HUMILIS
SWEET SARCOCOCCA



ROSMARINUS OFFICINALIS
'HUNTINGTON CARPET'
ROSEMARY



GALVEZIA SPECIOSA
ISLAND BUSH SNAPDRAGON

STORMWATER



CHONDROPETALUM ELEPHANTIUM
CAPE RUSH



CAREX TUMULICOLA
BERKELEY SEDGE



JUNCUS PATENS
CALIFORNIA GRAY RUSH



IRIS DOUGLASIANA
DOUGLAS IRIS



SCAEVOLA 'TOP POT BLUE'
FAN FLOWER

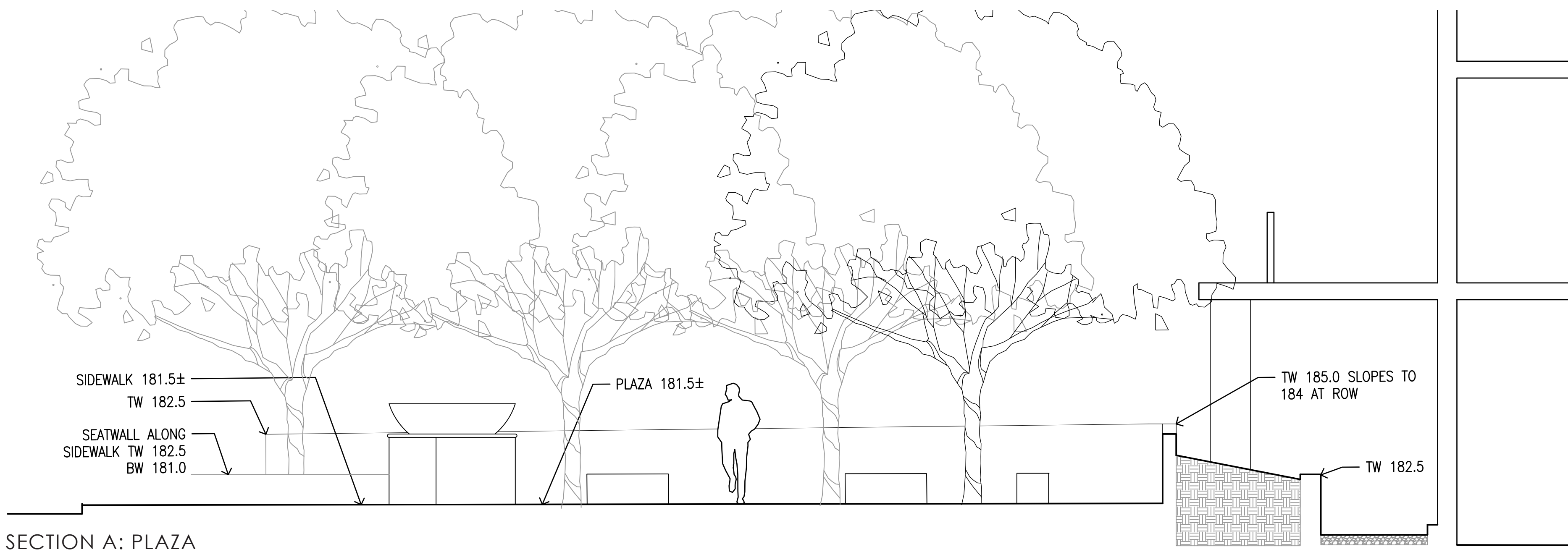
VINES



CLEMATIS VITICELLA
ITALIAN CLEMATIS

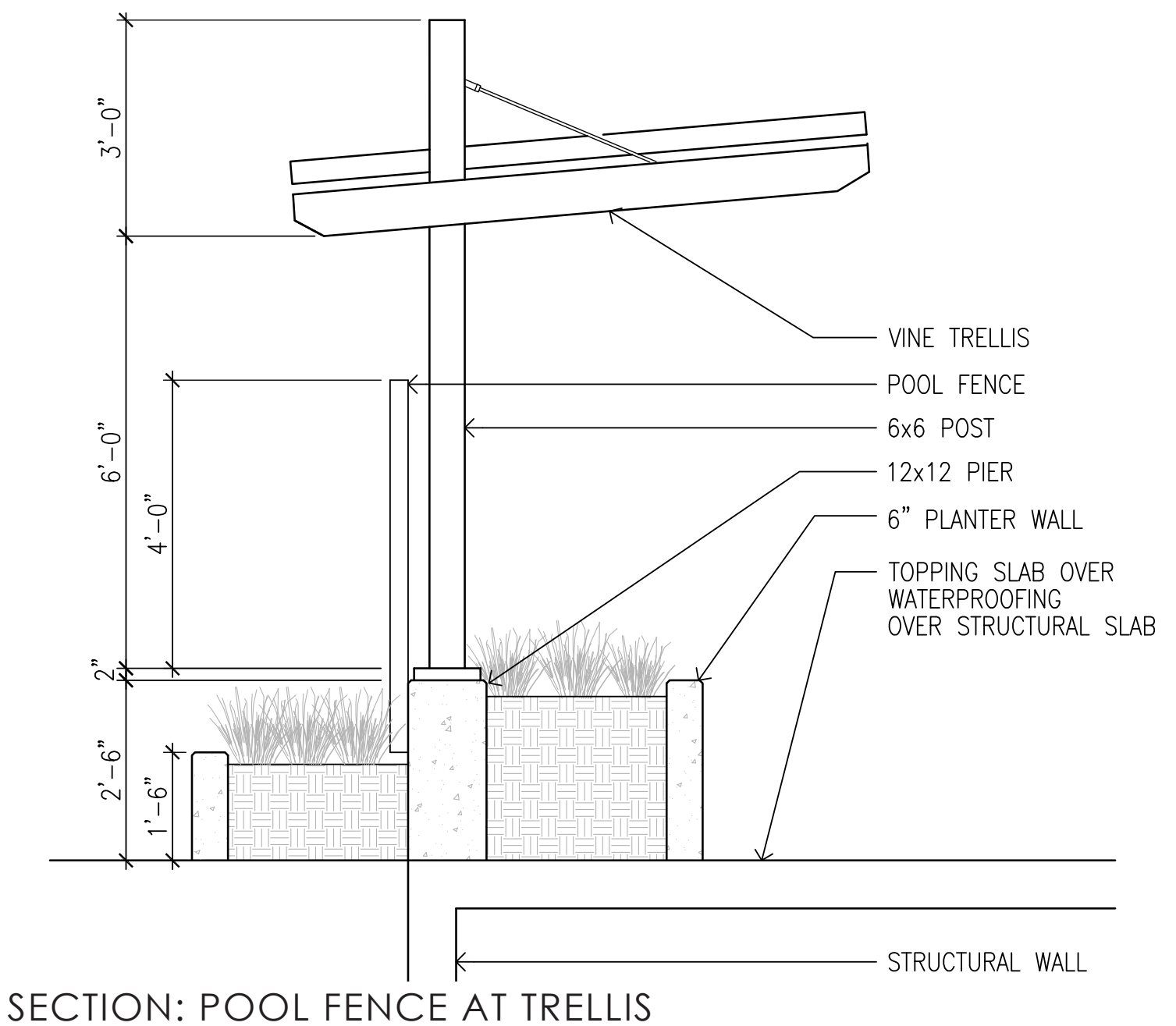


ENTRY PERSPECTIVE



SECTION A: PLAZA

SCALE: 1/4" = 1'-0"

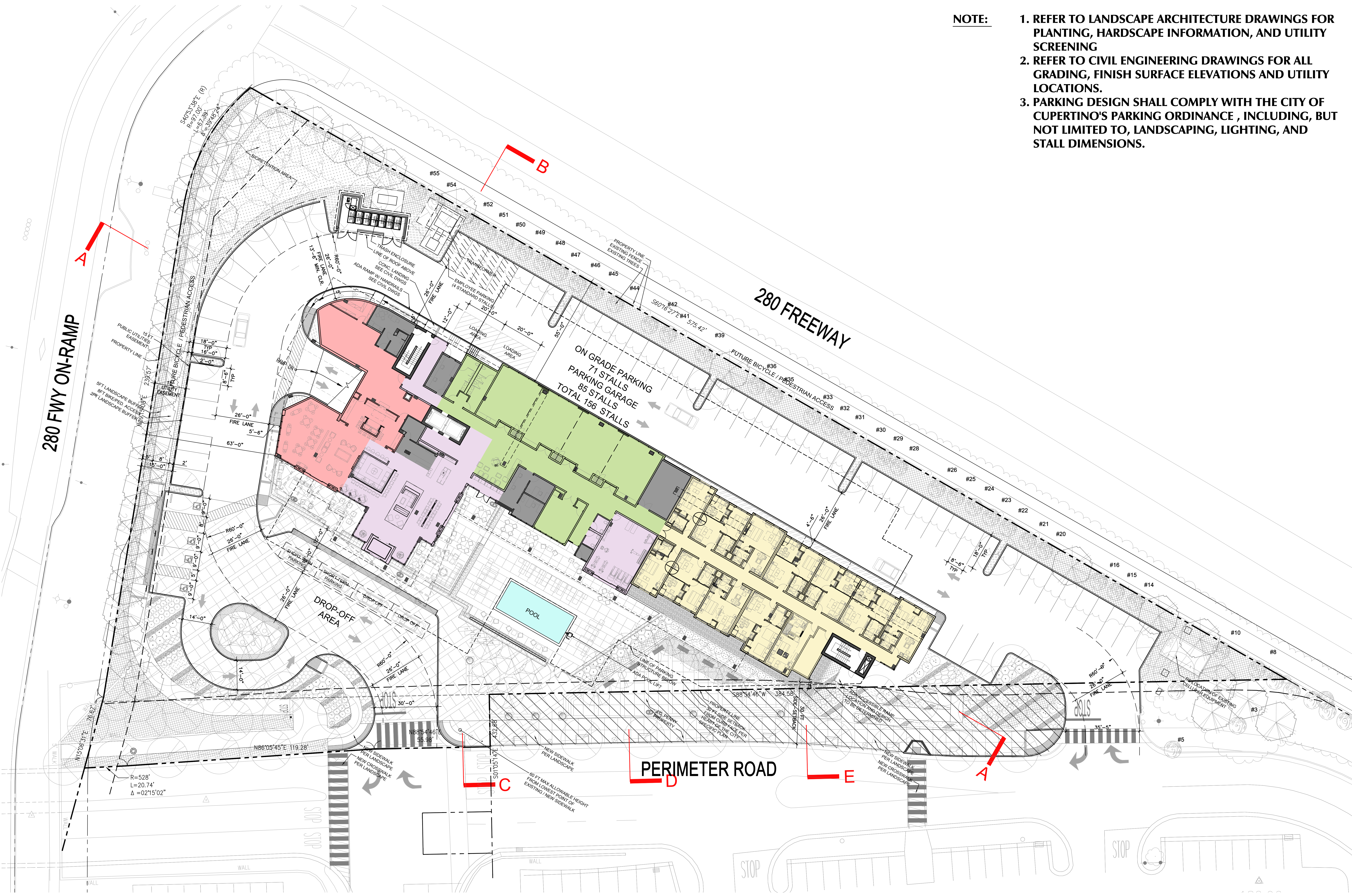


SECTION: POOL FENCE AT TRELLIS

(NTS)

NOTE:

1. REFER TO LANDSCAPE ARCHITECTURE DRAWINGS FOR PLANTING, HARDSCAPE INFORMATION, AND UTILITY SCREENING
2. REFER TO CIVIL ENGINEERING DRAWINGS FOR ALL GRADING, FINISH SURFACE ELEVATIONS AND UTILITY LOCATIONS.
3. PARKING DESIGN SHALL COMPLY WITH THE CITY OF CUPERTINO'S PARKING ORDINANCE, INCLUDING, BUT NOT LIMITED TO, LANDSCAPING, LIGHTING, AND STALL DIMENSIONS.



HYATT HOUSE HOTEL AT VALLCO PARK

WOLFE ROAD & INTERSTATE 280
CUPERTINO, CALIFORNIA

SITE PLAN - GROUND FLOOR

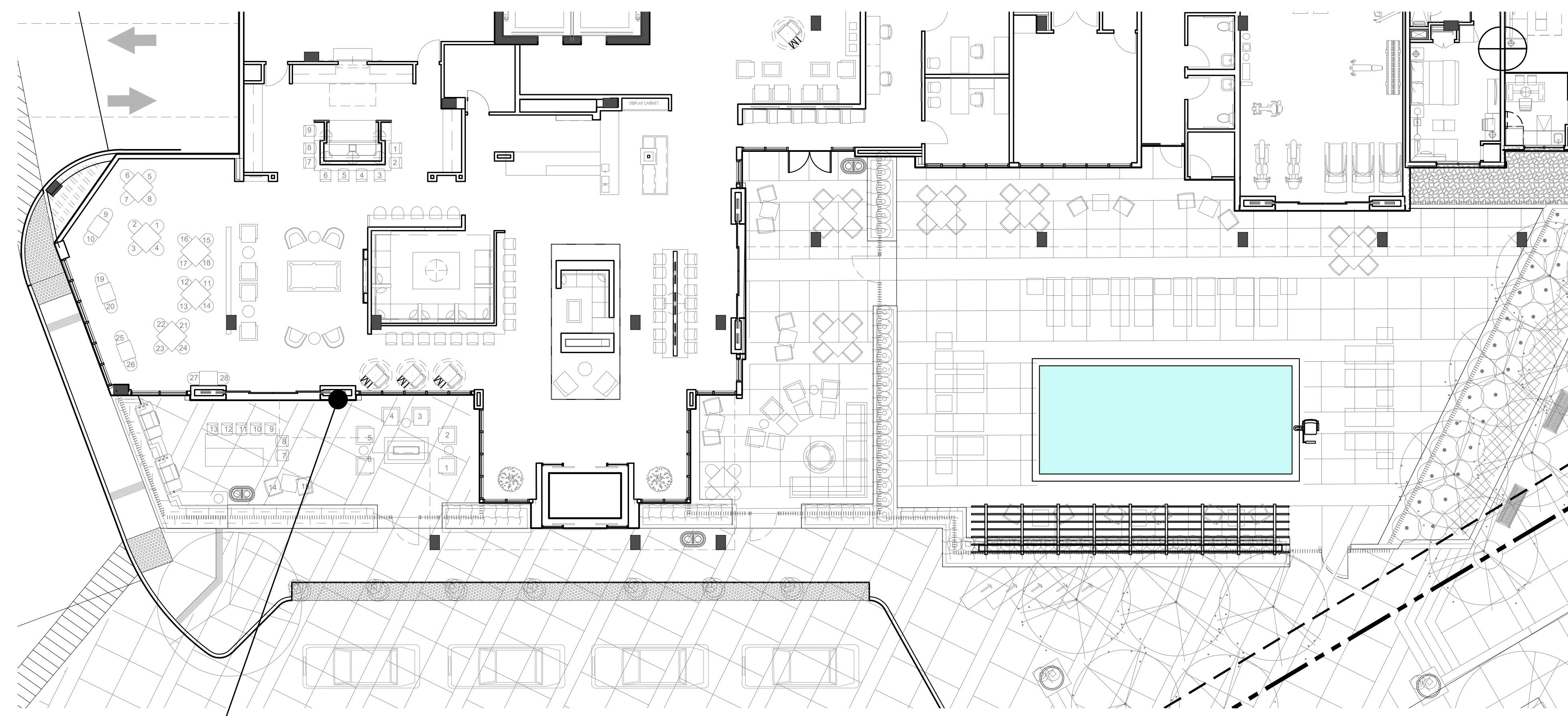
SCALE: 1/16"=1'-0"
0 16' 32' 64'

DATE: 10/3/2014
JOB NO.: 1345P



GENE FONG ASSOCIATES
ARCHITECTURE · PLANNING · INTERIORS
1130 WESTWOOD BLVD, CA 90024
310-209-7520 310-209-7516 FAX

A-1.0



H-BAR CONCEPT SIGNAGE LOCATION



H-BAR SIGNAGE FROM PUBLIC VIEW

